

## John Mondlak

---

**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Wednesday, May 22, 2013 5:52 PM  
**To:** 'Alex Wolfington'  
**Cc:** Alan.Greenbereger@Phila.gov; John Mondlak; ALEX WOLFINGTON , Plato AIA Marinakos , Joel Ostry , Frank Cresci; Major Charles Deitrick  
**Subject:** RE: LET ME DISCUSS W/ MAJ DIETRICH AND COME BACK TO YOU.

Alex: Joel is copied above and will respond accordingly.  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

---

**From:** Alex Wolfington [mailto:alex@wolfnet.co]  
**Sent:** Wednesday, May 22, 2013 5:44 PM  
**To:** Thomas Simmonds  
**Cc:** Alan.Greenbereger@Phila.gov; Alan Greenberger ; ALEX WOLFINGTON , Plato AIA Marinakos , Joel Ostry , Frank Cresci; Major Charles Deitrick  
**Subject:** FW: LET ME DISCUSS W/ MAJ DIETRICH AND COME BACK TO YOU.

Wednesday May 22, 2013 5:30 PM EST

Tom;

*Just spoke with Major Charle Deitrick at the Salvation Army who informed me that:*

Steve Nudell

**(1)** SA Architect just completed a review of City Codes ("Codes") to determine which ones the Demolition Company have to adhere to as part of the demolition process.

**(2)** SA Architect submitted his list of Regulatory Code Compliance Issues to the Salvation Army Attorney, Steve Nudell, Esquire today (5-22-13).

**(3)** Steve Nudell, Esquire will incorporate these compliance into an agreement, which Steve will furnish your attorney, Joel Oshtry, Esquire as soon as tomorrow (Thursday) or Friday.

**(4)** Upon receipt of the Nudell Agreement, Joel would reach out to Steve in a mutual effort to prepare the Final Execution Agreement for the parties to sign.

**(5)** Would you kindly ask Joel Oshtry to reach out to Steve Nudell tomorrow to confirm my understanding of where we are in this process.

Thank you.

Best,

ALEX (C: 610-304-3345)

Alex Wolfington

Wolfnet

O: (610)-526-9700

C: (610)-304-3345

E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>



---

**From:** Alistair Fraser [<mailto:Alistair.Fraser@USE.SalvationArmy.Org>]

**Sent:** Wednesday, May 22, 2013 3:45 PM

**To:** Thomas Simmonds

**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos

**Subject:** Re: 2140 Market Street

Gentlemen,

We have not yet received a response from your architect, Plato.

From: Alistair Fraser/ARC/USE/SArmy

To: Thomas Simmonds <[tsimmonds@really42.com](mailto:tsimmonds@really42.com)>

Cc: "Alex Wolfington" <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, Major Cranford <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>

Date: 05/10/2013 10:37 AM

Subject: 2140 Market Street

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When 2138 Market is demolished -

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*Thank you.*

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*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/22/2013 04:54 PM

To "Alan.Greenberger@Phila.Gov"  
<Alan.Greenberger@Phila.Gov>  
cc  
bcc  
Subject FW: 2140 Market Street - Salvation Army

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Wednesday, May 22, 2013 4:54 PM  
**To:** 'Alan.Greenbereger@Phila.gov'  
**Cc:** 'John.Mondlak@Phila.gov'; Alex Wolfington; Plato Marinakos; oshtrylaw@aol.com; Frank Cresci  
**Subject:** FW: 2140 Market Street - Salvation Army

Alan: I hope you are well. I am sending you this thread so you can see what I am confronted with concerning the Salvation Army. In spite of the numerous telephone conversations, countless e-mails and communications (most of which Salvation Army either ignores or responds to "late" for lack of a better word), this is how/when whoever this Mr. Fraser is decides to respond to a situation that poses a threat to life and limb solely caused by Salvation Army's flagrant disregard for either my or my attorney's communications. Is there is anything at all you can do to enable us to complete our demolition of the 2138 Market Street property in a professional, legal manner without having to deal with such unprofessional – and clearly uncaring – people who claim to be on a charitable mission? The job would have been completed last week if they cooperated with us as requested. This nonsense must end before someone is seriously injured or worse: those are headlines none of us want to see or read. Kindly advise.  
Thank you – I know you are extremely busy,  
Thom

BTW – this is their typical MO – they write an e-mail, I respond and they "disappear" for a few weeks.

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Wednesday, May 22, 2013 3:59 PM  
**To:** 'Alistair Fraser'  
**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos; oshtrylaw@aol.com; Frank Cresci  
**Subject:** RE: 2140 Market Street



Sir: I suggest you read all e-mails you have been copied on before asking me such a question. Your counsel Steve Nudell was contacted last week by our attorney; L & I have been to the job site (5/16/13); an "engineer" purporting to be "Salvation Army's engineer" was at the property on 5/20/13 (he verbally told the demolition contractor that Salvation Army would consent to accessing the property). At this very late juncture, either you provide the written authorization to access the property or have Mr. Nudell contact Mr. Oshtry. Plato is not responding to your e-mail. Where are you located and what is your "title"? Please advise.

Thank you,  
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BTW – this is their typical MO – they write an e-mail, I respond and they "disappear" for a few weeks.

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<tsimmonds@realty42.com>

05/22/2013 04:54 PM

To "Alan.Greenberger@Phila.Gov"  
<Alan.Greenberger@Phila.Gov>

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**John Mondlak**

---

**From:** Alex Wolfington [alex@wolfnet.co]  
**Sent:** Monday, May 20, 2013 6:45 PM  
**To:** Alan Greenberger; John Mondlak  
**Subject:** ALAN T.Y. = CAN WE BE PRESENT AT MEETING WITH Fire Commissioner Ayers ?

*Alex Wolfington*  
*Wolfnet*  
*O: (610)-526-9700*  
*C: (610)-304-3345*  
*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*



---

**From:** Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
**Date:** Mon, 20 May 2013 09:49:35 -0400  
**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
**Cc:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
**Subject:** Re: 2100 BLOCK OF MARKET ST FIRE HOUSE

We are getting a meeting set up with Fire Commissioner Ayers to discuss. I mentioned it to him several weeks ago so he knows what the subject is.

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600  
E [alan.greenberger@phila.gov](mailto:alan.greenberger@phila.gov)

For scheduling appointments,  
please contact [eva.lopez@phila.gov](mailto:eva.lopez@phila.gov)

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/17/2013 08:52 AM

To Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc Mondlak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
Subject 2100 BLOCK OF MARKET ST FIRE HOUSE

*Friday May 17, 2013*

*Alan;*

*We are at a crucial point in our decision process regarding the Fire House. As you know since November of last year (7 months ago) we have been seeking direction from you regarding the process to negotiate an agreement with the City either to relocate or cantilever over the existing Fire House. Would you kindly arrange for us to meet with the decision makers next week, so we can determine the most effective and mutually beneficial way to proceed. Thank in advance, as we will await your feedback.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*






Alex Wolfington  
<alex@wolfnet.co>  
05/17/2013 08:52 AM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Mondiak John <John.Mondlak@phila.gov>  
bcc

Subject 2100 BLOCK OF MARKET ST FIRE HOUSE

History:  This message has been replied to.

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Wolfnet*

*O: (610)-526-9700*

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## John Mondlak

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**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Thursday, May 16, 2013 5:29 PM  
**To:** 'Alistair Fraser'  
**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos; 'Oshtrylaw@aol.com'; Alan Greenberger; John Mondlak; Frank Cresci  
**Subject:** RE: 2140 Market Street

Gentlemen: Our attorney Joel Oshtry has yet to receive a response from your attorney Steve Nudell whom you advised me to contact in connection with completion of our demo work adjacent to your property. Please advise – your/his continued delays in responding pose a threat to life, limb and public safety.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

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**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Thursday, May 16, 2013 5:26 PM  
**To:** 'Oshtrylaw@aol.com'  
**Cc:** Alex Wolfington; Alan Greenberger; John Mondlak; 'plato@plato-studio.com'; Frank Cresci  
**Subject:** RE: Steve Nudell

Joel: It truly is unfortunate – and a disgrace – that the Salvation Army (purporting to be on a charitable mission) – obviously has no regard for safety to life and limb or our “mission” to redevelop a gaping hole in Center City’s landscape. I will bring this to the attention of the Majors and see if they can provide any “assistance”.

Thank you,

Thom

**THOM SIMMONDS**  
**300 WEST 43RD STREET**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468**

---

**From:** [Oshtrylaw@aol.com](mailto:Oshtrylaw@aol.com) [mailto:[Oshtrylaw@aol.com](mailto:Oshtrylaw@aol.com)]  
**Sent:** Thursday, May 16, 2013 5:14 PM  
**To:** Thomas Simmonds  
**Subject:** Re: Steve Nudell

Thom,

I have heard nothing from him.

Joel E. Oshtry, Esquire  
1819 JFK Blvd., Suite 433  
Philadelphia, PA 19103  
1-215-568-4040  
1-215-568-1022

In a message dated 5/16/2013 5:01:16 P.M. Eastern Daylight Time, [tsimmonds@realty42.com](mailto:tsimmonds@realty42.com) writes:

Joel: Any response from Steve Nudell?

Thom

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**Cc:** 'Alex Wolfington'; 'plato@plato-studio.com'; 'oshtrylaw@aol.com'; Frank Cresci  
**Subject:** 2136-80 Market Street/Salvation Army (2140 Market Street)  
**Attachments:** 1635\_001.pdf

Gentlemen: Attached please find letter sent to Steve Nudell, the attorney Major Deitrick advised is representing Salvation Army. I hope it elicits a positive response and will keep you advised accordingly.

Thank you,  
Thom

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**From:** [canon@realty42.com](mailto:canon@realty42.com) [mailto:canon@realty42.com]  
**Sent:** Thursday, May 16, 2013 10:55 AM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

Norman A. Oshtry  
Joel E. Oshtry

Law Offices

• Oshtry & Oshtry • 1819 JFK Boulevard/Suite 433  
Philadelphia, PA 19103

Office (215) 568-4040  
Fax (215) 568-1022

May 15, 2013

Steven C. Nudel, Esquire  
Law Offices of Steven C. Nudel  
219 Pine Street  
Harrisburg, PA 17101

Via: Facsimile to 1-717-236-5080

Re: 2138 and 2140 Market Street, Philadelphia, Pennsylvania

Dear Mr. Nudel:

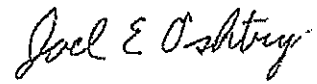
In follow up of our telephone conversations regarding the demolition of 2138 Market Street I can advise that my client, STB Corporation, the owner of 2138 Market Street, Philadelphia, Pennsylvania, proposes to do the following to safeguard the interests of the public, The Salvation Army and STB Corporation:

1. The roof of 2140 Market Street will be covered with a tarp and on top of the tarp plywood will be laid. This will protect the roof if any debris fall on the roof area;
2. Boom trucks which consist of a four wheel base and a long extending boom or arm at the end of which is a bucket/basket area for holding a worker will be stationed on the street and alleyway. The workers will be suspended over the roof and next to the wall to be demolished. Thus the worker will not be relying on 2140 Market Street or its roof for support. The worker will demolish the wall in a direction away from 2140 Market Street so that the wall is pushed out onto the 2138 Market Street parcel area;
3. Thus no equipment or personnel will be stationed on the roof of ~~2140~~<sup>-2140</sup> Market Street.

It is now a matter of urgency that this demolition be accomplished immediately. The building at 2138 Market Street is in a state of partial demolition, the City has granted a demolition permit and the longer it remains undemolished the greater the risks to the public and all property owners of an uncontrolled collapse of part or loose debris. We are therefore requesting The Salvation Army's cooperation

so the demolition can be finished in an expeditious fashion as possible to minimize risks. Thank you for your prompt attention.

Very truly yours,

A handwritten signature in cursive script that reads "Joel E. Oshtry".

JOEL E. OSHTRY

JEO/se



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 05:29 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, "John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, bcc

Subject RE: 2136-38 Market Street

Major Deitrick: I received your voice message (4:47PM) re the above property. Joel Oshtry spoke with Steve Nudell today about the "access agreement" but advised Joel that he is not aware of any architect's involvement on your behalf. Mr. Nudell advised Mr. Oshtry that he would be contacting your offices for that information. I suggest you coordinate communication among Mr. Nudell, your architect and Joel Oshtry immediately so that we can conclude the demolition on the block.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Monday, May 13, 2013 12:40 PM  
**To:** 'Major Cranford'; 'Charles Deitrick'; 'Alistair.Fraser@USE.salvationarmy.org'  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'; 'Plato Marinakos'; 'Alex Wolfington'; Frank Cresci; 'oshtrylaw@aol.com'  
**Subject:** 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** [canon@realty42.com](mailto:canon@realty42.com) [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
05/13/2013 02:03 PM

To Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc  
bcc  
Subject Rappaport Estate Garage situated at 347 S. Broad Street,

*Monday May 13, 2013*

*Alan;*

*Thank you. I will put it on the back burner until and unless you and Sean advise otherwise.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

**From:** Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
**Date:** Mon, 13 May 2013 13:09:44 -0400  
**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
**Cc:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
**Subject:** Re: Rappaport Estate Garage situated at 347 S. Broad Street,

Alex,  
I talked to Sean last week. While they would undoubtedly like to control the property, it didn't sound to me like this was their highest priority in the event that they sold their other property on the block. At this time, I think it's on the back burner.

That said, if the Estate starts having more interest on their own in selling the property, please let me know.

Alan

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600



E [alan.greenberger@phila.gov](mailto:alan.greenberger@phila.gov)

For scheduling appointments,  
please contact [eva.lopez@phila.gov](mailto:eva.lopez@phila.gov)

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/09/2013 02:01 PM

To Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>

cc

Subject Rappaport Estate Garage situated at 347 S. Broad Street,

Thursday, May 9, 2013

Alan:

*Pursuant to our last meeting at the Symphony House would you kindly let me know the results of your subsequent meeting with **Sean Buffington** to determine what level of interest The University of the Arts may have in the Rappaport Estate Garage situated at 347 S. Broad Street,*

*I look forward to your direction. Thank you*

*BEST,*

**ALEX (C: 610-304-3345)**

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Thomas Simmonds  
<tsimmonds@realty42.com>

05/13/2013 12:39 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick'

<Charles.Deitrick@USE.SalvationArmy.Org>, cc "Alan.Greenberger@Phila.gov"

<Alan.Greenberger@Phila.gov>,

"John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, bcc

Subject 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** canon@realty42.com [mailto:canon@realty42.com]

**Sent:** Monday, May 13, 2013 12:35 PM

**To:** Thomas Simmonds

**Subject:** Attached Image



1587\_001.pdf





Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:31 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc 'Alex Wolfington' <alex@wolfnet.co>,  
"Alistair.Fraser@USE.salvationarmy.org"  
<Alistair.Fraser@USE.salvationarmy.org>, 'Major Cranford'  
bcc

Subject RE: POST CONFERENCE CALL ACTION PLAN

Gentlemen: It is now 12:30 and I requested your architect's "comprehensive response" by noon – 30 minutes ago. Please advise – the next photo I send you via e-mail will show you that we're now at an impasse.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Friday, May 10, 2013 10:41 AM  
**To:** 'Charles Deitrick'  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Major: Thank you for clarifying. I just spoke to our architect Plato Marinakos (copied above) who stressed the TIME SENSITIVE nature of the "comprehensive response" since, as you are aware, 2136-38 Market Street is nearly demolished and every minute that passes increases the liability exposure for all parties. Accordingly I request receipt the aforementioned response no later than noon, Monday, May 13, 2013 so that none of the components of this matter are unduly delayed.

By way of introduction, I have copied our attorney Joel Oshtry above who will be contacting your attorney Steve Nudell (717-236-5000) re the "access agreement" per your advice.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 10:30 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Alistair will send a list from his experience but , we will also work through our architect for a

Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Alex Wolfington <  
[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/10/2013 09:36 AM

To "Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, cc: Major Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Major Cranford" <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubPOST CONFERENCE CALL ACTION PLAN  
ject

Friday, May 10, 2013

Alistair:

Pursuant to our conference call at 9:00 a.m. this morning, it is my understanding that we will implement the following steps regarding the demolition of 2138 Market Street (Philadelphia):

- 1) Joel Oshstry, Esq will reach out for the Salvation's Army Attorney at 717-236-5000 to mutually prepare an "Access Agreement" with the intent of reaching and executing an Agreement by the end of next week
- 2) Alistair Fraser will prepare a description of his concerns as it relates to the flashing, chimney and walls at 2140 Market Street throughout the "2138" demolition process
- 3) Plato Marinakos will prepare a description of what steps he will be taking regarding the post-demolition protection of 2140 Market Street

4) If need be, Alistar will come to Philadelphia early next week to meet with Plato for an onsite clarification of the demolition work to be completed

5) The parties will agree to work on collaborative and neighborly basis to expedite the completion of a smooth demolition process

Please let me know if I have not accurately set forth our understanding.

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

--

--

## John Mondlak

---

**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Friday, May 10, 2013 10:44 AM  
**To:** 'Alistair Fraser'  
**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; Alan Greenberger; John Mondlak  
**Subject:** RE: 2140 Market Street

Mr. Fraser: Plato will commence review and response to your queries below – some of which will also be addressed and clarified by our attorney Mr. Oshtry. We must move on this forthwith.

Thank you,

Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

---

**From:** Alistair Fraser [<mailto:Alistair.Fraser@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 10:37 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos  
**Subject:** 2140 Market Street

Gentlemen,

When 2138 Market is demolished -

1. Who is responsible for reducing the height of our chimney and verifying that it meets code ?
2. The roof flashing will be removed what will be done to with roof terminations to ensure that our building is watertight ?
3. The exterior of the common wall between 2138 and 2140 will be exposed who is responsible for ensuring that it is watertight ?
4. How do we ensure that our building retains it's structural integrity during and after the demolition of 2138 ?
5. Who is responsible for fixing any wall cracks or ceiling sacks that may result from vibrations caused by your demolition work ?

## John Mondlak

---

**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Friday, May 10, 2013 10:41 AM  
**To:** 'Charles Deitrick'  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; Alan Greenberger; John Mondlak  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Major: Thank you for clarifying. I just spoke to our architect Plato Marinakos (copied above) who stressed the TIME SENSITIVE nature of the "comprehensive response" since, as you are aware, 2136-38 Market Street is nearly demolished and every minute that passes increases the liability exposure for all parties. Accordingly I request receipt the aforementioned response no later than noon, Monday, May 13, 2013 so that none of the components of this matter are unduly delayed.

By way of introduction, I have copied our attorney Joel Oshtry above who will be contacting your attorney Steve Nudell (717-236-5000) re the "access agreement" per your advice.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

---

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Friday, May 10, 2013 10:30 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Alistair will send a list from his experience but , we will also work through our architect for a comprehensive response.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/10/2013 10:04 AM

To 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Alex Wolfington" <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,

cc "Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, Major Cranford <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>

Subject RE: POST CONFERENCE CALL ACTION PLAN



Major Deitrick/Mr. Fraser: Thank you again for the enlightening conversation we had earlier this morning. Will you be providing me with your roof/east wall concerns today for our architect to review or will that be coming from the local architect you reference below? Kindly advise.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 9:57 AM  
**To:** Alex Wolfington  
**Cc:** [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos; Thomas Simmonds  
**Subject:** Re: POST CONFERENCE CALL ACTION PLAN

There is no commitment for Alistair to come to Philadelphia, We will have a local Architect represent us, This will be identified and shared . We will work at the timing of the professionals that are engaged. As was stated we will work to meet our neighborly goals but at same time protect our own investments. As stated no commitments are made at this point other than to work together in dialogue to proceed.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/10/2013 09:36 AM

To "Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>,  
cc Major Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Major Cranford" <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>,  
Thomas Simmonds <[simmonds@really42.com](mailto:simmonds@really42.com)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
Subject POST CONFERENCE CALL ACTION PLAN

Friday, May 10, 2013

Alistair:

Pursuant to our conference call at 9:00 a.m. this morning, it is

my understanding that we will implement the following steps regarding the demolition of 2138 Market Street (Philadelphia):

- 1) Joel Oshstry, Esq will reach out for the Salvation's Army Attorney at 717-236-5000 to mutually prepare an "Access Agreement" with the intent of reaching and executing an Agreement by the end of next week
- 2) Alistar Fraser will prepare a description of his concerns as it relates to the flashing, chimney and walls at 2140 Market Street throughout the "2138" demolition process
- 3) Plato Marinakos will prepare a description of what steps he will be taking regarding the post-demolition protection of 2140 Market Street
- 4) If need be, Alistar will come to Philadelphia early next week to meet with Plato for an onsite clarification of the demolition work to be completed
- 5) The parties will agree to work on collaborative and neighborly basis to expedite the completion of a smooth demolition process

Please let me know if I have not accurately set forth our understanding.

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C (610)-304-3345  
E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>*



**John Mondlak**

---

**From:** Alex Wolfington [alex@wolfnet.co]  
**Sent:** Thursday, May 09, 2013 2:40 PM  
**To:** Thomas Simmonds; Plato AIA Marinakos; John Mondlak; Major Cranford; Major Charles Deitrick; Carmella A Rutella; Karen Cranford; Frank Cresci  
**Subject:** CONFERENCE CALL RE: 2100 BLOCK OF Market Street, Phila., PA

Thursday May 9, 2013

Major and Tom;

We have scheduled a conference call for tomorrow with the following new call in details:

**DAY:** Friday

**DATE:** May 10, 2013

**TIME:** 9:00 AM (EST)

**CONF:** **Call in Number:** 712-775-7000

**Code:** 807-187 #

**TOPIC:** Demolition in the 2100 Block of Market Street, Philadelphia

**PARTICIPANTS:**

- Major Charles Deitrick 845-732-4113
- Major John Cranford
- Karen Cranford
- Alistair Fraser
- Tom Simmonds
- Frank Cresi
- Plato AIA Marinakos
- Alex Wolfington

**Call in Number:** 712-775-7000  
Please confirm your participation by an email response to all the parties. Thank you.  
Best,

ALEX (C: 610-304-3345)

Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

Major Charles Deitrick 845-732-4113



Wolfnet

Carmella Routella <[Carmella.Rutella@USE.SalvationArmy.org](mailto:Carmella.Rutella@USE.SalvationArmy.org)>  
Karen Cranford <[Karen.cranford@use.salvationarmy.org](mailto:Karen.cranford@use.salvationarmy.org)>

---

**From:** Major Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>  
**Date:** Thu, 9 May 2013 13:53:32 -0400  
**To:** Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
**Cc:** Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>, ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>, Plato AIA Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>, John Cranford <[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Major Charles Deitrick  
General Secretary

Centers Command

**John Mondlak**

---

**From:** Alex Wolfington [alex@wolfnet.co]  
**Sent:** Thursday, May 09, 2013 2:33 PM  
**To:** Alan Greenberger; John Mondlak  
**Subject:** 2100 BLOCK OF MARKET: RESULTS OF CONVERSATIONS WITH: (I) Fire Commissioner  
(ii) Darrel Clark

Thursday, May 9, 2013

Alan:

Pursuant to our last meeting at the Symphony House I am awaiting:

**(1) The results of your subsequent conversation with Fire Commissioner Lloyd Ayers to discuss the relocation of the fire house in the 2100 block of Market Street to the 2200 block of Market Street. We are poised to move forward in an expeditious fashion before the market for multi-family residential family housing is saturated. We have furnished you with site plans for the suggested relocation site and seek your support in speeding this process along.**

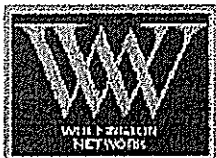
**(2) The results of your subsequent conversation with City Council President, Darrel Clark (5th District) regarding the development of the 2100 block of Market Street.**

Would you kindly give me your specific feedback on these two items above, as time is truly of the essence. Thank you

BEST,

ALEX (C:610-304-3345)

Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C (610)-304-3345  
E: <alex@wolfnet.co>  
E: <Alex@wolfingtonnetwork.com>



## John Mondlak

---

**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Thursday, May 09, 2013 2:04 PM  
**To:** 'Charles Deitrick'  
**Cc:** Alan Greenberger; 'Alex Wolfington'; Frank Cresci; John Mondlak; 'plato@plato-studio.com'; Alistair Fraser; John Cranford  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

---

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Thursday, May 09, 2013 1:54 PM  
**To:** Thomas Simmonds; Alan Greenberger; Alex Wolfington  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser; John Cranford  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/09/2013 10:27 AM

To 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>,  
cc "Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>,  
"John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington'  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, "Frank  
Cresci" <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you – I look forward to hearing from you.  
Best regards,

Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

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Thursday, May 09, 2013 10:16 AM

Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/09/2013 10:14 AM

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**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser

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<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/09/2013 09:49 AM

Re: FW: 2140 Market Street, Phila., PA - a conference call with the local Administrator

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Thank you,  
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THOM SIMMONDS  
PROPERTY MANAGER  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)



212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com) [mailto:[canon@realty42.com](mailto:canon@realty42.com)]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

212.247.4910 (201) (Office)  
Thursday, February 07, 2013 6:07 PM



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 02:03 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Thursday, May 09, 2013 1:54 PM  
**To:** Thomas Simmonds  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser; John Cranford  
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05/09/2013 10:27 AM

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plato@plato-studio.com>, "Frank Cresci" <fcresci@realty42.com>  
SubRE: FW: 2140 Market Street, Phila., PA  
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347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
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**Sent:** Thursday, February 07, 2013 6:07 PM

**To:** Thomas Simmonds

**Subject:** Attached Image

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Alex Wolfington  
<alex@wolfnet.co>  
05/09/2013 02:01 PM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc  
bcc

Subject Rappaport Estate Garage situated at 347 S. Broad Street,

History:  This message has been replied to.

Thursday, May 9, 2013

Alan:

*Pursuant to our last meeting at the Symphony House would you kindly let me know the results of your subsequent meeting with **Sean Buffington** to determine what level of interest The University of the Arts may have in the Rappaport Estate Garage situated at 347 S. Broad Street,*

*I look forward to your direction. Thank you*

*BEST,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>

05/09/2013 01:53 PM

To Thomas Simmonds <tsimmonds@realty42.com>  
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<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
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cc "Alan.Greenberger@Phila.gov"  
<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>,  
"John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
bcc  
Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you – I look forward to hearing from you.  
Best regards,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

I have a call into Major Cranford, We will back to you after I hear from him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/09/2013 10:14 AM

To'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>,  
cc"Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
SubRE: FW: 2140 Market Street, Phila., PA  
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**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
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[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
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300 WEST 43RD STREET – Suite 400  
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347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

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**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 10:15 AM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>, John Cranford  
<JCranford@USE.SalvationArmy.Org>  
cc "'Alan.Greenberger@Phila.gov"'  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
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[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <alex@wolfnet.co>, "'plato@plato-studio.com"' <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <fcresci@realty42.com>  
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Thank you,

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**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



## John Mondlak

---

**From:** Thomas Simmonds [tsimmonds@realty42.com]  
**Sent:** Thursday, May 09, 2013 10:15 AM  
**To:** 'Charles Deitrick'; John Cranford  
**Cc:** Alan Greenberger; 'Alex Wolfington'; Frank Cresci; John Mondlak; 'plato@plato-studio.com'; Alistair Fraser  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

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Adult Rehabilitation Centers Command

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-- 0379\_001.pdf



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**To:** Thomas Simmonds

**Subject:** Attached Image



0379\_001.pdf

S.T.B. INVESTMENTS CORPORATION  
300 WEST 43<sup>RD</sup> STREET – SUITE 400  
NEW YORK, NY 10036  
212-247-4910

February 7, 2013

Major Charles Deitrick  
440 West Neck Road  
Bardonia, NY 10954

Re: 2140 Market Street, Phila., PA 19103

Dear Major Deitrick:

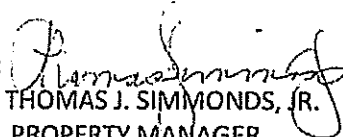
I am the Property Manager for S.T.B. Investments, Corp., which owns the property adjacent to the above premises. As you know from meeting with or having discussions with various individuals on our behalf concerning our plans to redevelop our properties on the 2100 block of West Market Street, we are now about to commence demolition of the buildings 2132, 2134 and 2136-38 Market Street.

I am enclosing a copy of our Architectural/Structural Report prepared as part of the due diligence the City requires to: a) obtain a demolition permit ( received on 02/01/2013); b) insure that any adjacent/contiguous property owner is aware of our demolition and redevelopment plans. The subject report discloses nine (9) areas of your property that require "immediate attention and repairs." Our plan is to commence our demolition at the most easterly property, to wit, 2132 Market Street as soon as possible. I would like to discuss this situation with you in view of the apparent structural defects that exist at your property prior to commencing demolition at 2136-38 Market Street.

Thank you for your courtesies and anticipated cooperation.

Very truly yours,  
S.T.B. INVESTMENTS, CORP.

By:

  
THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER

VIA FEDERAL EXPRESS AND E-MAIL: [Charles.Deitrick@USE.SALVATIONARMY.ORG](mailto:Charles.Deitrick@USE.SALVATIONARMY.ORG)

cc: R. Basciano (w/encls.)  
A. Wolfington (w/encls.)

---

## **Architectural/ Structural Report**

Subject: Salvation Army 2140 Market Street  
Philadelphia, PA

---

Prepared for:

**STB Investments, Corp**

**THOM SIMMONDS**

**300 WEST 43RD STREET**

**NEW YORK, NEW YORK 10036**

**347.234.0468**

Prepared by:

**Plato A. Marinakos, Jr. Architect, LLC**

Business License No. 2284766/ (91566) (City of Philadelphia)

2000 Hamilton Street, Suite 912

Philadelphia, Pennsylvania, 19130

Tel. 610 207-7678

E-mail: [plato@plato-studio.com](mailto:plato@plato-studio.com)

Professional Architect: PA, NJ, DE, MD  
RA-0114756X

Tuesday, February 05, 2013



Mr. Simmons,

*Plato A. Marinakos, Jr., Architect, LLC* conducted a site visit and inspected the building at 2140 Market Street known as the Salvation Army Thrift Store, Philadelphia, PA on February 4 and 5, 2013, as shown in Photos No. 1 through 18. The subject building is 1-story high with a full basement. The interior lot width of the building is approximately 18-feet and 0-inches. The length of the building is approximately 127 feet. The total building 1<sup>st</sup> and basement is approximately 4,572 square feet.

The building structure consists of masonry bearing walls and wood floor and roof framing. The scope of our work was limited to inspecting the readily visible and accessible areas of the building and determining the general structural condition. The scope of our work did not include inspection of any non-structural elements, such as the electrical or mechanical system of the building.

During our inspection, we determined that many areas of the building need immediate attention and repairs.

1. Evidence of roof leaking. See photo 10 damaged ceiling tile
2. Roof membrane is bubbling and needs to be re-attached to the substrate see photo 14 thru 18
3. Install a new roof membrane over the entire existing building to keep the water from entering the building photo 14 thru 18
4. Repoint and stabilize existing brick in rear loading dock photo 9
5. The aluminum facing is missing sections near the loading dock photo 3
6. Plywood facing is exposed and needs to be replaced photo 3
7. Extensive water damaged interior plaster at stairs to the basement photo 11
8. Damage face brick along sidewalk photo 6,7,8
9. Roof drain not connected photo 4

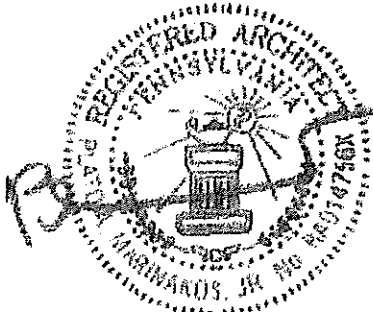
**Based on our field inspection and our engineering judgment, it is our conclusion that the structural condition of the subject building is barely sound and in extreme state of neglect and disrepair.** All the structural defects and deteriorations noted above should be repaired per our recommendations. Please note that the owner may choose to further rehabilitate the subject building and make additional repairs and modifications, where the exact extent of repair and modification shall be determined by the Architect/Engineer of the renovation design.

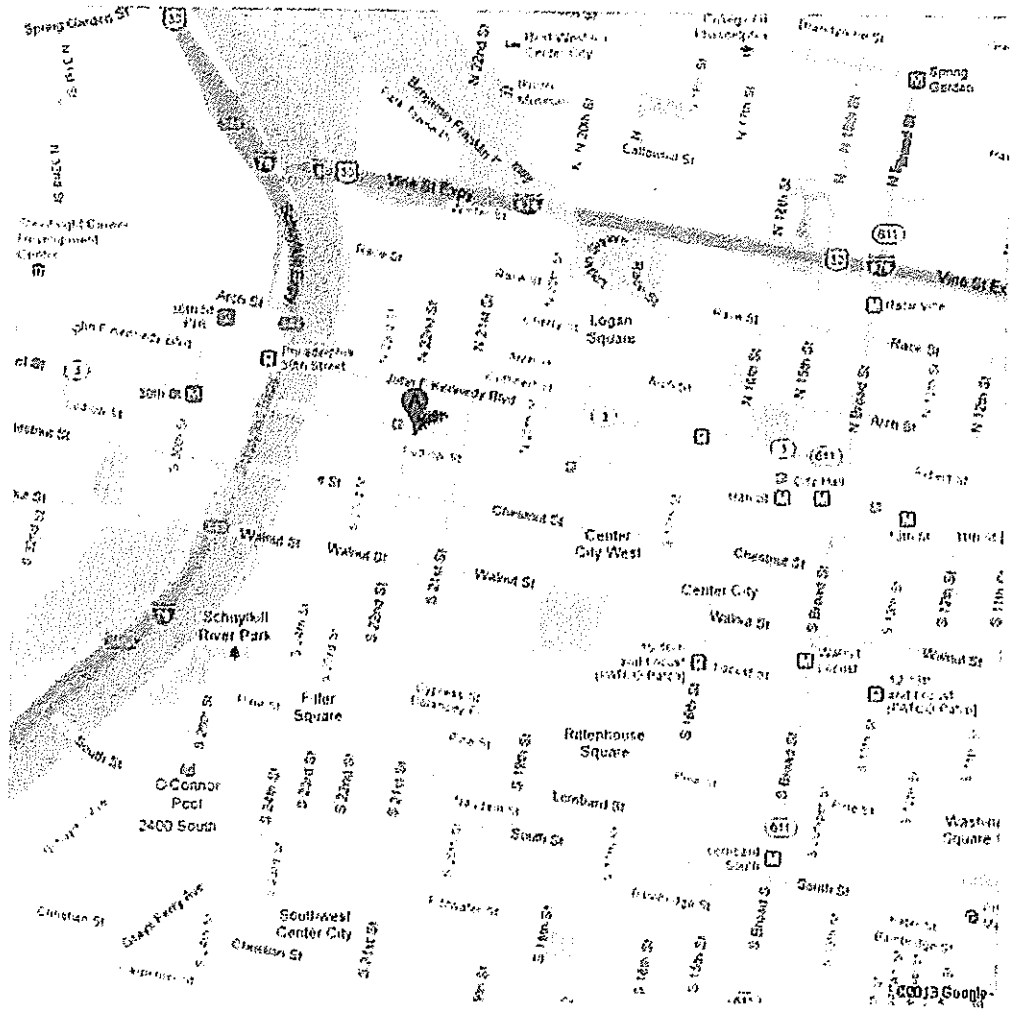
The findings and conclusions in this report with respect to the structural condition of the subject building are based on normal visual observations of the site. No conclusions, expressed or implied, shall represent that *Plato A. Marinakos, Jr. Architect, LLC* has made an evaluation of the original design, material, and fabrication of the building or erection deficiencies beyond that which would be detectable by a normal visual inspection. Please feel free to contact me if you have any questions. Thank you.

Regards,



Member  
Plato Marinakos, Jr, AIA, CSI





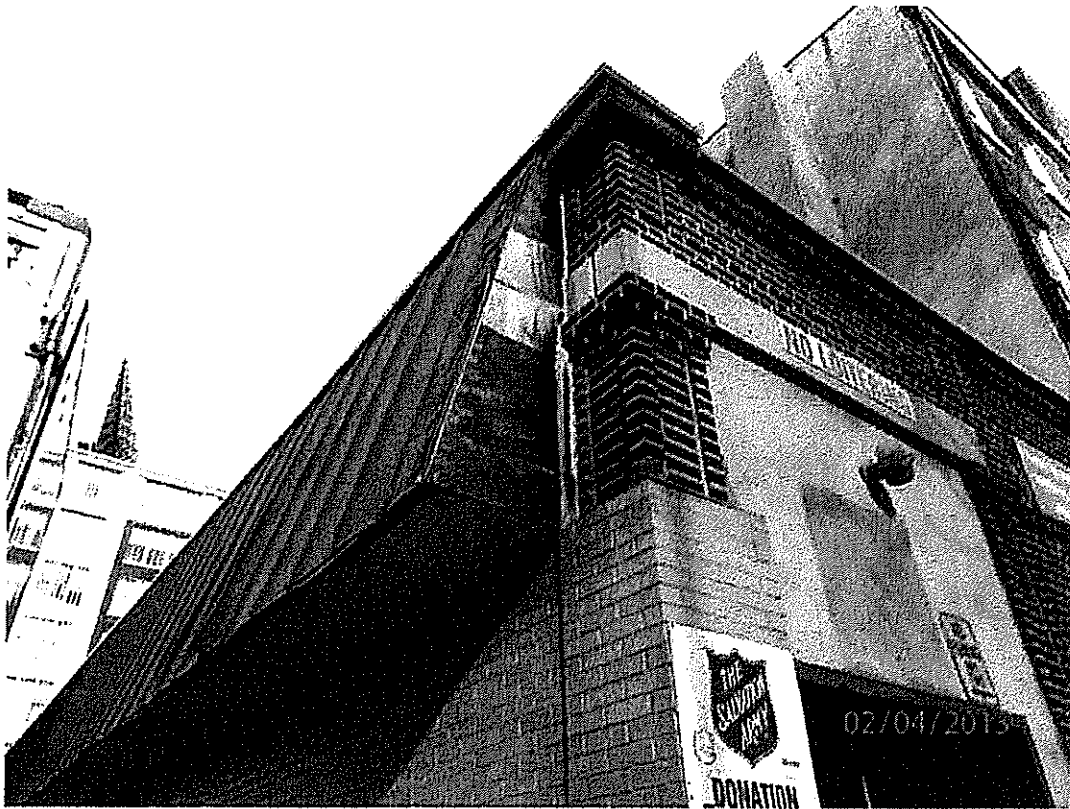
**Figure No. 1. Map of 2140 Market Street, Philadelphia, PA**



**Photo No. 1. Front (North) View of 2140 Market Street, Philadelphia, PA**



**Photo No. 2. Rear (South) View of 2140 Market Street, Philadelphia, PA**



**Photo No. 3. Façade Detail 2140 Market Street, Philadelphia, PA**



Photo No. 4. Façade Detail 2140 Market Street, Philadelphia, PA

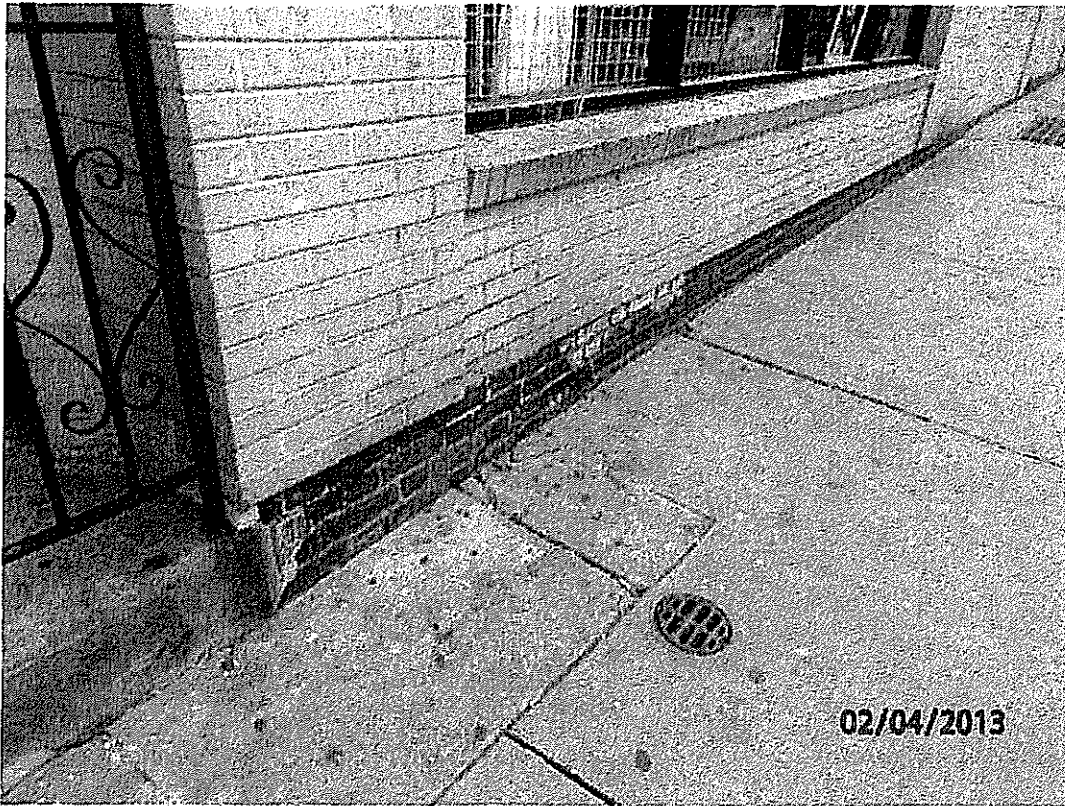




Photo No. 5. Façade Detail 2140 Market Street, Philadelphia, PA



**Photo No. 6. Façade Detail 2140 Market Street, Philadelphia, PA**



**Photo No. 7. Façade Detail 2140 Market Street, Philadelphia, PA**



**Photo No. 8. Façade Detail 2140 Market Street, Philadelphia, PA**

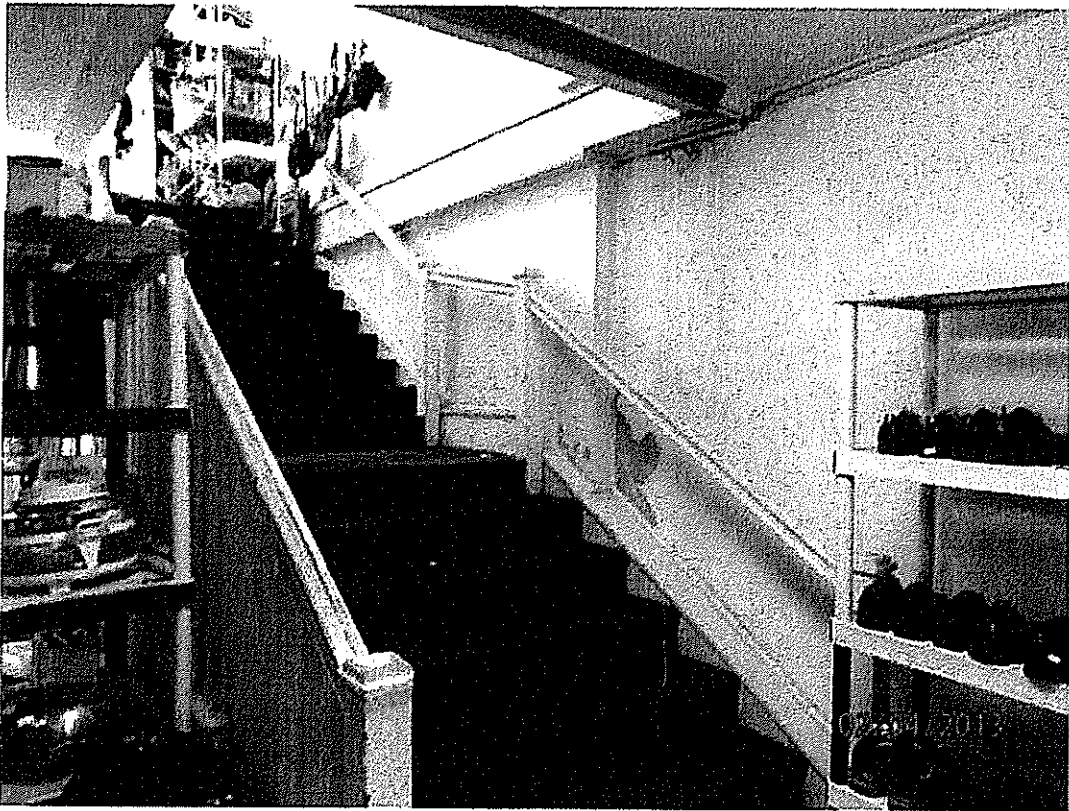


**Photo No. 9. Interior Detail 2140 Market Street, Philadelphia, PA**



**Photo No. 10. Interior Detail 2140 Market Street, Philadelphia, PA**



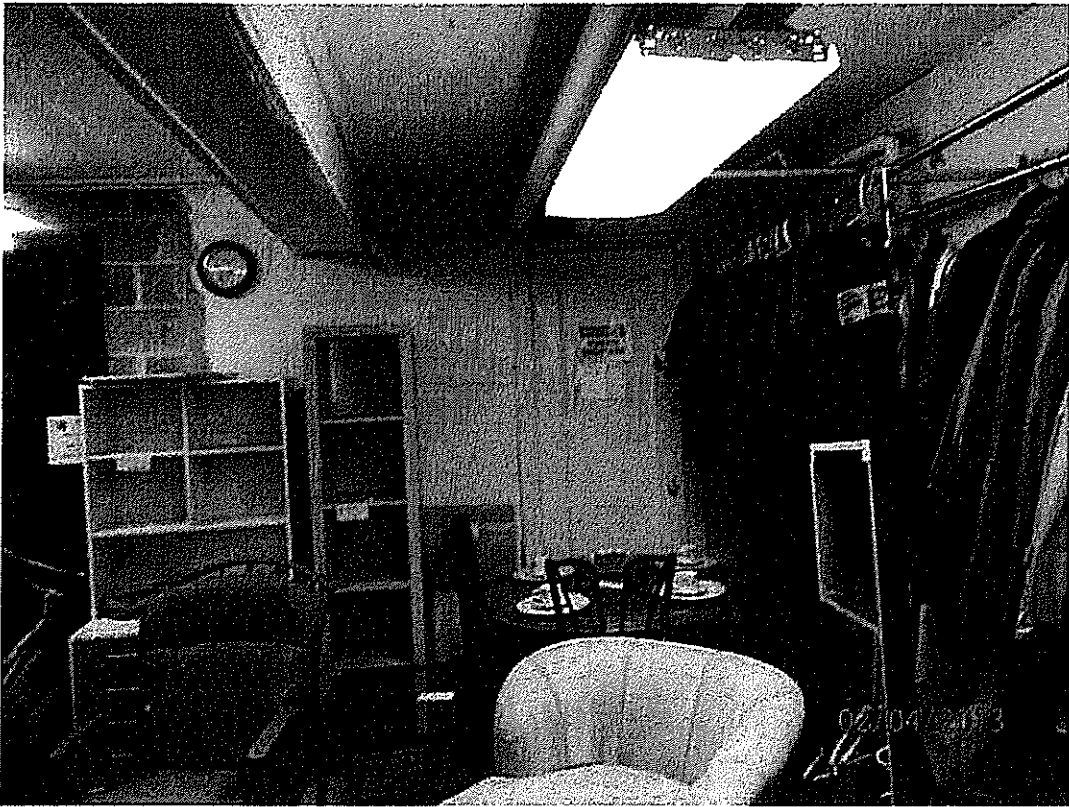


**Photo No. 11. Interior Detail 2140 Market Street, Philadelphia, PA**

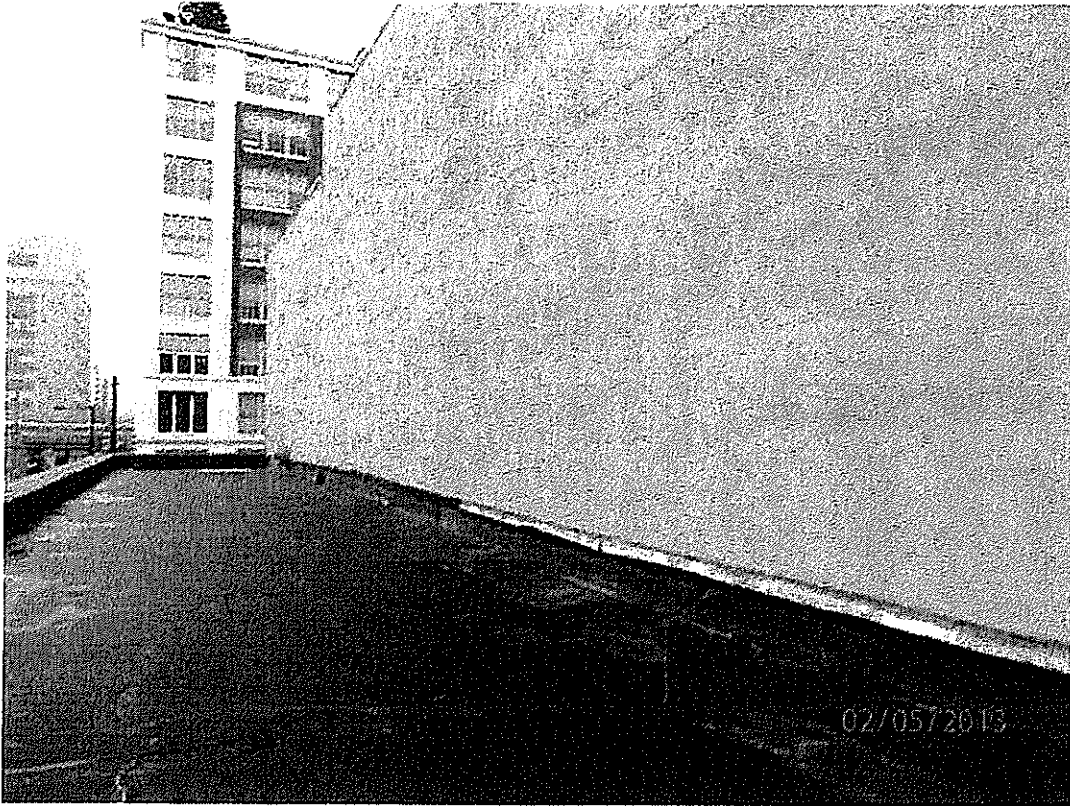


**Photo No. 12. Interior Detail 2140 Market Street, Philadelphia, PA**

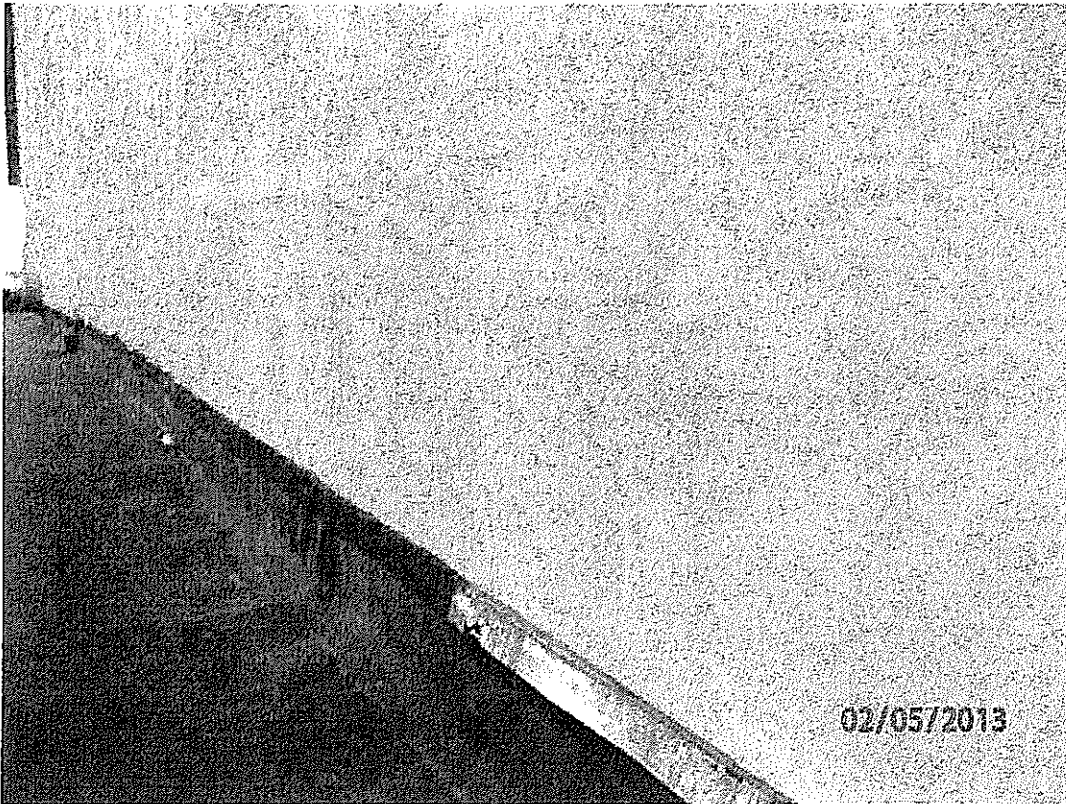




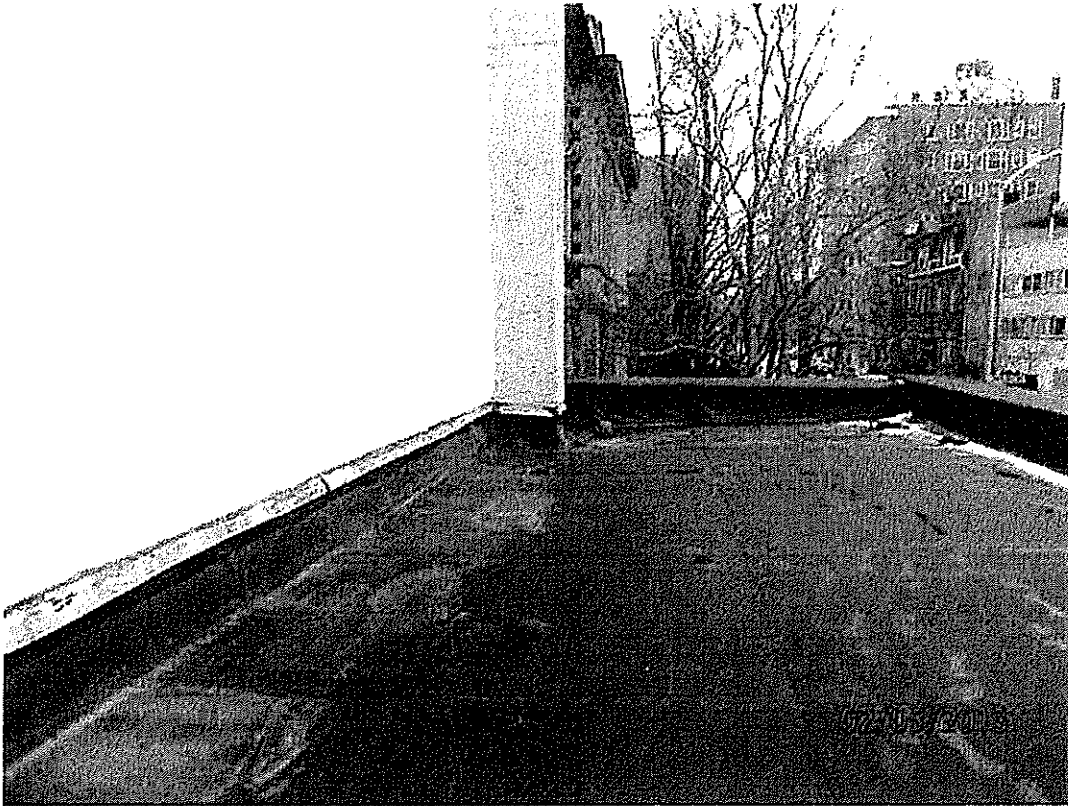
**Photo No. 13. Interior Detail 2140 Market Street, Philadelphia, PA**



**Photo No. 14. Roof View 2140 Market Street, Philadelphia, PA**



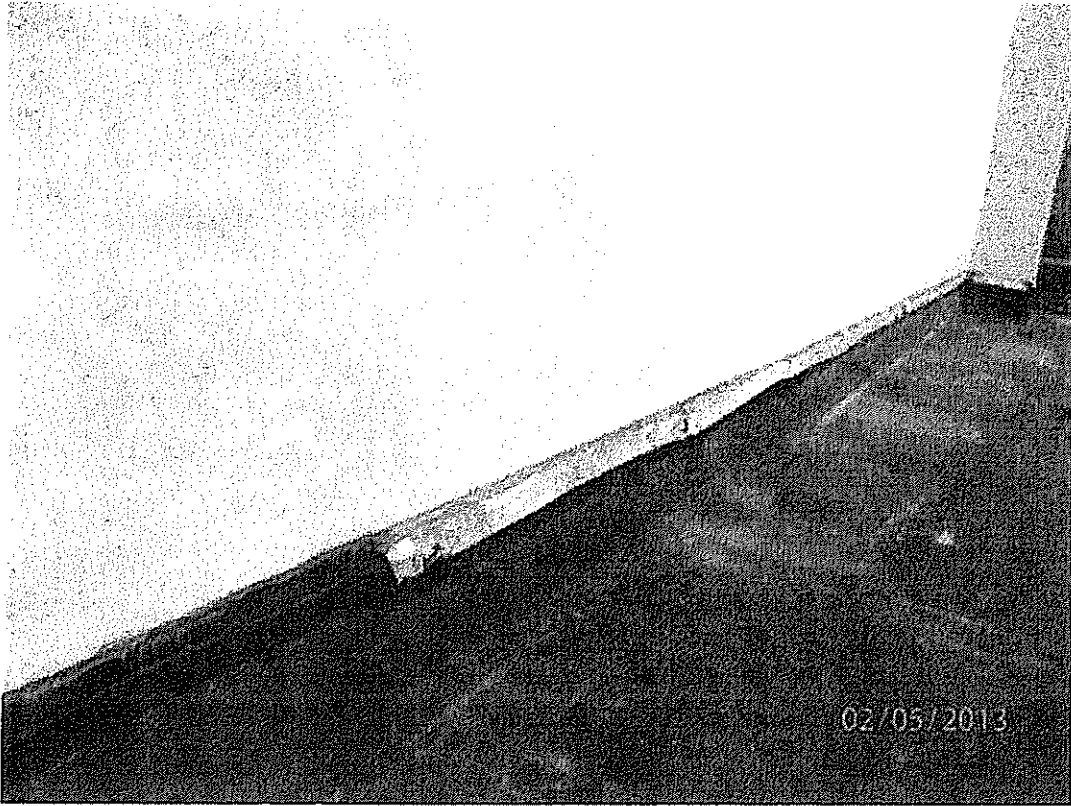
**Photo No. 15. Roof View 2140 Market Street, Philadelphia, PA**



**Photo No. 16. Roof View 2140 Market Street, Philadelphia, PA**



**Photo No. 17. Roof View 2140Market Street, Philadelphia, PA**



**Photo No. 18. Roof View 2140Market Street, Philadelphia, PA**

**John Mondlak**

---

**From:** Alex Wolfington [alex@wolfnet.co]  
**Sent:** Tuesday, May 07, 2013 9:04 AM  
**To:** John Mondlak  
**Subject:** JOHN: Would you kindly let me know a good time to speak by phone today. (C: 610-304-3345)

2012

Best,

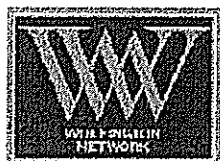
ALEX (C: 610-304-3345)

Alex Wolfington  
Wolfnet

O: (610)-526-9700

C: (610)-304-3345

E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>



1/00



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
05/03/2013 05:32 PM

To: Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc: Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
bcc:  
Subject: 2100 BLOCK FIRE HOUSE RELOCATION

*Friday May 3, 2013*

*John;*

*With time being of the essence would you kindly let me know if you met with the Fire Commissioner, showed him our site plan for the relocation of the fire house and are we in a position to sit down to discuss the process, the cost and the funding. Please advise. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



John  
Mondlak/Commcert/Phila  
03/20/2013 12:00 PM

To "Alex Wolfington" <alex@wolfnet.co>  
cc  
bcc  
Subject Re: 2100 MARKET (RAPPAPORT PROPERTIES) 

I'm waiting for times from his assistant for the meeting with Richard (I will send a follow-up request to her).

Alan was supposed to call you on Rappaport. I will remind him.

John Mondlak  
Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009

---

**From:** Alex Wolfington [alex@wolfnet.co]  
**Sent:** 03/20/2013 11:43 AM AST  
**To:** John Mondlak  
**Subject:** 2100 MARKET (RAPPAPORT PROPERTIES)

*Wednesday, March 20, 2013*

*John:*

*As discussed I am waiting to hear from you regarding:*

- 1)** *That we can meet this week with Richard Basicano in Philadelphia regarding the 2100 Block of Market*
- 2)** *A time when Alan & I can meet regarding Rappaport Properties*

*If you can reach out to me today regarding some direction I would appreciate it. Thank you*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*


*E: <alex@wolfnet.co>*

*E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>*



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/20/2013 11:43 AM

To: Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
bcc  
Subject: 2100 MARKET (RAPPAPORT PROPERTIES)

History:  This message has been replied to.

*Wednesday, March 20, 2013*

*John:*

*As discussed I am waiting to hear from you regarding:*

- 1) That we can meet this week with Richard Basicano in Philadelphia regarding the 2100 Block of Market*
- 2) A time when Alan & I can meet regarding Rappaport Properties*

*If you can reach out to me today regarding some direction I would appreciate it. Thank you*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*

*E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>*



Alex Wolfington  
<alex@wolfnet.co>  
03/15/2013 02:51 PM

To Mondiak John <John.Mondlak@phila.gov>  
cc Thomas Simmonds <tsimmonds@realty42.com>, Frank  
Cresci <fcresci@realty42.com>  
bcc  
Subject 2100 MARKET PLAN

Friday, March 15, 2013

John:

Pursuant to our on going discussion of 2100 Market, attached is the **Twin Tower Plan** for 2100 Market for which you will notice the Fire House sits within the floor plate of the East Tower.

As discussed, we can either build above the firehouse, relocate the firehouse depending on the related costs.

It is my understanding that you will ask your associates to prepare a pro forma for relocating and constructing a new firehouse, so that we can evaluate the economies of scale in considering the relocation.

It is my understanding therefore you will be coming back to us with:

1. The relocation pro forma
2. Two alternative day dates & times that Alan can meet with us

Look forward to hearing from you with regard to each of the above.

*BEST,*

ALEX (C:610-304-3345)

Alex Wolfington

Wolfnet

O: (610)-526-9700

C (610)-304-3345

E: <alex@wolfnet.co>

E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >



west\_market\_(03-15-13).pdf

John  
Mondlak/Commcert/Phila  
03/14/2013 10:23 AM

To Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
cc  
bcc  
Subject Re: 2100 MARKET STREET MEETING AT SYMPHONY  
HOUSE 

Yes. I'll call in 10 minutes.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009  
Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/14/2013 09:43 AM

To "John.Mondlak@phila.gov" <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
Subject Re: 2100 MARKET STREET MEETING AT SYMPHONY  
HOUSE

John:

Are you available to call Alex at 10:30 a.m. today on his  
cell phone 610-304-3345

Lisa

*Lisa Currie*

*Executive Assistant to Alex Wolfington  
Wolfington Network  
O: (610)-526-9700  
F: (610)-526-9701  
E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>*

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Thursday, March 14, 2013 8:38 AM

**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Re: 2100 MARKET STREET MEETING AT SYMPHONY HOUSE

Alex, that meeting isn't going to work. I'll call mid-morning to discuss.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)

(215) 683-2009

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

To Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

cc Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "Plato AIA Marinakos" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>

03/13/2013 11:51 PM

Sub 2100 MARKET STREET MEETING AT SYMPHONY HOUSE  
ject

*Tuesday, March 12, 2013*

*John;*

*Pursuant to our email exchange this is to confirm that we will meet Richard Basciano and Tom Simmonds on the following day, date, and time with the sincere hope that Alan can join us:*

**DAY:** *Friday*

**DATE:** *March 15, 2013*

**TIME:** *10:30 AM*

**PLACE:** *Symphony House (8th Floor Conference Room)*

*440 S. Broad Street*

*Philadelphia, PA 19146*

*267-465-6007*

**TOPIC:** *2100 Block Market Street Development Plan and Scheduling Update*

**PARTICIPANTS:** *John Mondiak*

*Alan Greenberger, if Available*

*Richard Basciano*

*Tom Simmonds*

*Frank Cresci*

*Plato Marinakos, AIA*

*Alex Wolfington (C: 610-304-3345)*

*We look forward to seeing you on Friday and would ask if you would give us your update on the Fire House .  
Thank you.*

**ALEX (C: 610-304-3345)**

*Alex Wolfington*  
*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*





Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/14/2013 09:43 AM

To "John.Mondlak@phila.gov" <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
bcc  
Subject Re: 2100 MARKET STREET MEETING AT SYMPHONY HOUSE

History: This message has been replied to.

John:

Are you available to call Alex at 10:30 a.m. today on his cell phone 610-304-3345

Lisa

*Lisa Currie*

*Executive Assistant to Alex Wolfington  
Wolfington Network  
O: (610)-526-9700  
F: (610)-526-9701  
E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>*

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Thursday, March 14, 2013 8:38 AM

**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Re: 2100 MARKET STREET MEETING AT SYMPHONY HOUSE

Alex, that meeting isn't going to work. I'll call mid-morning to discuss.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

03/13/2013 11:51 PM

To Mondlak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "Plato AIA Marinakos" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
Sub 2100 MARKET STREET MEETING AT SYMPHONY HOUSE  
ject

Tuesday, March 12, 2013

John;

*Pursuant to our email exchange this is to confirm that we will meet Richard Basciano and Tom Simmonds on the following day, date, and time with the sincere hope that Alan can join us:*

**DAY:** *Friday*

**DATE:** *March 15, 2013*

**TIME:** *10:30 AM*

**PLACE:** *Symphony House (8th Floor Conference Room)*

*440 S. Broad Street*

*Philadelphia, PA 19146*

*267-465-6007*

**TOPIC:** *2100 Block Market Street Development Plan and Scheduling Update*

**PARTICIPANTS:** *John Mondiak*

*Alan Greenberger, if Available*

*Richard Basciano*

*Tom Simmonds*

*Frank Cresci*

*Plato Marinakos, AIA*

*Alex Wolfington (C: 610-304-3345)*

*We look forward to seeing you on Friday and would ask if you would give us your update on the Fire House . Thank you.*

**ALEX (C: 610-304-3345)**

*Alex Wolfington*



*Wolfnet*

O: (610)-526-9700

C: (610)-304-3345

E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >

John  
Mondlak/Commcert/Phila  
03/14/2013 08:38 AM

To Alex Wolfington <alex@wolfnet.co>  
cc  
bcc  
Subject Re: 2100 MARKET STREET MEETING AT SYMPHONY  
HOUSE 

Alex, that meeting isn't going to work. I'll call mid-morning to discuss.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
03/13/2013 11:51 PM

To Mondlak John <John.Mondlak@phila.gov>  
cc Alan Greenberger <Alan.Greenberger@Phila.Gov>, Thomas  
Simmonds <tsimmonds@realty42.com>, Frank Cresci  
<fcresci@realty42.com>, "Plato AIA Marinakos"  
<plato@plato-studio.com>  
Subject 2100 MARKET STREET MEETING AT SYMPHONY HOUSE

*Tuesday, March 12, 2013*

*John;*

*Pursuant to our email exchange this is to confirm that we will meet Richard Basciano and Tom Simmonds on the following day, date, and time with the sincere hope that Alan can join us:*

**DAY:** Friday

**DATE:** March 15, 2013

**TIME:** 10:30 AM

**PLACE:** Symphony House (8th Floor Conference Room)

440 S. Broad Street

Philadelphia, PA 19146

267-465-6007

**TOPIC:** 2100 Block Market Street Development Plan and Scheduling Update

**PARTICIPANTS:** John Mondiak

Alan Greenberger, if Available

Richard Basciano

Tom Simmonds

Frank Cresci

Plato Marinakos, AIA

Alex Wolfington (C: 610-304-3345)

We look forward to seeing you on Friday and would ask if you would give us your update on the Fire House. Thank you.

**ALEX (C: 610-304-3345)**

**Alex Wolfington**

**Wolfnet**

**O: (610)-526-9700**

**C: (610)-304-3345**

**E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >**

**John  
Mondlak/Commcert/Phila**  
03/13/2013 12:48 PM

To "Alex Wolfington" <alex@wolfingtonnetwork.com>  
cc  
bcc  
Subject Call

Got your message. I'm in meetings until 3:00-ish, but will call then.


John Mondlak  
Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009



Alex Wolfington  
<alex@wolfnet.co>  
03/13/2013 11:51 PM

To: Mondiak John <John.Mondlak@phila.gov>  
cc: Alan Greenberger <Alan.Greenberger@Phila.Gov>, Thomas Simmonds <tsimmonds@realty42.com>, Frank Cresci <fcresci@realty42.com>, "Plato AIA Marinakos"  
bcc:

Subject: 2100 MARKET STREET MEETING AT SYMPHONY HOUSE

History:  This message has been replied to .

*Tuesday, March 12, 2013*

*John;*

*Pursuant to our email exchange this is to confirm that we will meet Richard Basciano and Tom Simmonds on the following day, date, and time with the sincere hope that Alan can join us:*

**DAY:** Friday

**DATE:** March 15, 2013

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**PLACE:** Symphony House (8th Floor Conference Room)

440 S. Broad Street

Philadelphia, PA 19146

267-465-6007

**TOPIC:** 2100 Block Market Street Development Plan and Scheduling Update

**PARTICIPANTS:** John Mondiak

Alan Greenberger, if Available

Richard Basciano

Tom Simmonds

Frank Cresci

Plato Marinakos, AIA

Alex Wolfington (C: 610-304-3345)

*We look forward to seeing you on Friday and would ask if you would give us your update on the Fire House. Thank you.*

ALEX (C: 610-304-3345)

Alex Wolfington


Wolfnet

O: (610)-526-9700

C: (610)-304-3345

E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >

John  
Mondlak/Commcert/Phila  
03/12/2013 05:38 PM

To Alex Wolfington <alex@wolfnet.co>  
cc  
bcc  
Subject Re: 2100 MARKET STREET 

I'm available ... waiting for a check on Alan's calendar.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
03/12/2013 03:43 PM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Mondiak John <John.Mondlak@phila.gov>  
Subject Re: 2100 MARKET STREET

*Tuesday, March 12, 2013*

*Alan & John:*

*Can we meet on Friday (3/15) before 11:30 a.m or after 3:00 pm for 1/2 hour? Thank you*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: <alex@wolfnet.co>*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

**From:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Date:** Tuesday, March 12, 2013 10:13 AM

**To:** Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>

**Cc:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Subject:** 2100 MARKET STREET

*Tuesday, March 12, 2013*

*Alan & John:*

*I would like to sit down with you for about 1/2 hour to review the progress*

*update and discuss the draft plans and pending Salvation Army discussions.  
Would you kindly let me know two alternative day, dates & times that work  
best for each of you. Thank you*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*


*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*





Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/12/2013 03:43 PM

To: Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc: Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
bcc:  
Subject: Re: 2100 MARKET STREET

History:  This message has been replied to and forwarded.

*Tuesday, March 12, 2013*

*Alan & John:*

*Can we meet on Friday (3/15) before 11:30 a.m or after 3:00 pm for 1/2 hour? Thank you*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*

*E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

**From:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Date:** Tuesday, March 12, 2013 10:13 AM

**To:** Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>

**Cc:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Subject:** 2100 MARKET STREET

*Tuesday, March 12, 2013*

*Alan & John:*

*I would like to sit down with you for about 1/2 hour to review the progress update and discuss the draft plans and pending Salvation Army discussions. Would you kindly let me know two alternative day, dates & times that work best for each of you. Thank you*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*


*C: (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/12/2013 10:13 AM

To Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
bcc  
Subject 2100 MARKET STREET

History:  This message has been forwarded.

*Tuesday, March 12, 2013*

*Alan & John:*

*I would like to sit down with you for about 1/2 hour to review the progress update and discuss the draft plans and pending Salvation Army discussions. Would you kindly let me know two alternative day, dates & times that work best for each of you. Thank you*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

John  
Mondlak/Commcert/Phila  
03/01/2013 05:28 PM

To "Alex Wolfington" <alex@wolfingtonnetwork.com>  
cc  
bcc  
Subject Fw: RFP - 9th and Berks

Let me know if this works for you.

John Mondlak  
Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Terry Garfinkel

----- Original Message -----

**From:** Terry Garfinkel  
**Sent:** 03/01/2013 05:26 PM EST  
**To:** John Mondlak  
**Subject:** RFP - 9th and Berks

[attachment "9th and Berks RFP.pdf" deleted by John Mondlak/Commcert/Phila]



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/01/2013 04:11 PM

To "John.Mondlak@phila.gov" <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
bcc

Subject THANK YOU JOHN

History:  This message has been replied to.

*John:*

*I am seeking an RFP templet for the purchase (a sale from the City standpoint ) which could or could not be a PIDC RFP. Any templet you can send will be immensely helpful. Thank you.*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*

*E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Friday, March 1, 2013 11:16 AM

**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Re: EXAMPLE OF RFP TEMPLATE

Alex, I just left you a voicemail message. Can you specify if you are seeking an RFP for Professional Services or Real Estate, and if real estate, whether or not an RFP from the Philadelphia Redevelopment Authority or the Philadelphia Authority for Industrial Development would suffice since they issue them much more frequently than the City.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

02/28/2013 06:29 AM

To John Mondlak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

cc

Subject EXAMPLE OF RFP TEMPLATE

*Thursday Feb 28, 2013*

*John;*

*Would you have a Request for Proposal ("RFP") example or template, which you could send me. Look forward to your feedback. T.Y.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*


*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

JOHN MONDIAK  
DIRECTOR OF REAL ESTTE DEVELOPMENT  
Office of Deputy Mayor  
1 Parkway (12th Floor)  
1515 Arch Street  
Phila, PA 19102  
P: 215-683-2009  
E: John Mondiak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>



John  
Mondlak/Commcert/Phila  
03/01/2013 11:16 AM

To Alex Wolfington <alex@wolfnet.co>  
cc  
bcc  
Subject Re: EXAMPLE OF RFP TEMPLATE 

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City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
02/28/2013 06:29 AM

To John Mondlak <John.Mondlak@phila.gov>  
cc  
Subject EXAMPLE OF RFP TEMPLATE

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*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

JOHN MONDIAK  
DIRECTOR OF REAL ESTTE DEVELOPMENT  
Office of Deputy Mayor  
1 Parkway (12th Floor)  
1515 Arch Street  
Phila, PA 19102  
P: 215-683-2009



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
03/01/2013 05:05 PM

To Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
bcc  
Subject CORRECT - REAL ESTATE

2012

Best,

ALEX (C: 610-304-3345)

Alex Wolfington

Wolfnet

O: (610)-526-9700

C: (610)-304-3345

E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Fri, 1 Mar 2013 16:52:09 -0500

**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Re: THANK YOU JOHN

real estate, right?

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

03/01/2013 04:11 PM

To "John.Mondlak@phila.gov" <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
Subject THANK YOU JOHN

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Wolfnet

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C (610)-304-3345

E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >

E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Friday, March 1, 2013 11:16 AM

**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Re: EXAMPLE OF RFP TEMPLATE

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John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

02/28/2013 06:29 AM

To John Mondlak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

cc

Subject EXAMPLE OF RFP TEMPLATE

*Thursday Feb 28, 2013*

*John;*

*Would you have a Request for Proposal ("RFP") example or template, which you could send me. Look forward to your feedback. T.Y.*



*Best,*

ALEX (C: 610-304-3345)

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

JOHN MONDIAK

DIRECTOR OF REAL ESTTE DEVELOPMENT

Office of Deputy Mayor

1 Parkway (12th Floor)

1515 Arch Street

Phila, PA 19102

P: 215-683-2009

E: John Mondiak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

John  
Mondlak/Commcert/Phila  
03/01/2013 04:52 PM

To: Alex Wolfington <alex@wolfnet.co>  
cc  
bcc  
Subject: Re: THANK YOU JOHN 

real estate, right?

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
03/01/2013 04:11 PM

To: "John.Mondlak@phila.gov" <John.Mondlak@phila.gov>  
cc  
Subject: THANK YOU JOHN

*John:*

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*O: (610)-526-9700*

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**Date:** Friday, March 1, 2013 11:16 AM

**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Re: EXAMPLE OF RFP TEMPLATE

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John Mondlak, Director of Real Estate Development

City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
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[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

02/28/2013 06:29 AM

To John Mondiak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
Subject EXAMPLE OF RFP TEMPLATE

*Thursday Feb 28, 2013*

*John;*

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*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

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*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

JOHN MONDIAK  
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Office of Deputy Mayor  
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1515 Arch Street  
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E: John Mondiak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
02/28/2013 06:29 AM

To John Mondiak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
bcc  
Subject EXAMPLE OF RFP TEMPLATE

History:  This message has been replied to.

*Thursday Feb 28, 2013*

*John;*

*Would you have a Request for Proposal ("RFP") example or template, which you could send me. Look forward to your feedback. T.Y.*

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*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*


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DIRECTOR OF REAL ESTTE DEVELOPMENT  
Office of Deputy Mayor  
1 Parkway (12th Floor)  
1515 Arch Street  
Phila, PA 19102  
P: 215-683-2009  
E: John Mondiak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
02/22/2013 08:10 AM

To John Moniak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc Austin Wolfington <[austin.wolfington@gmail.com](mailto:austin.wolfington@gmail.com)>  
bcc

Subject AUSTIN WOLFINGTON

History:  This message has been replied to.

*Fri Feb 22, 2013*

*John;*

*By way of this email I would like to introduce you to my son, Austin Wolfington, who has begun handling Real Estate Transactions in the City. If he were to call you from time-to-time, I would appreciate it if you would give him your wisdom and guidance. In anticipation of our next meeting I am attaching our preliminary development plan alternatives for the 2100 block of Market Street so that we can begin the Fire House discussions. Thank you again.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*John Mondiak – Director of Real Estate Development*

*1 Parkway Bldg (12<sup>th</sup> Fl)*

*Phila, PA 19102*

*P: 215-683-2009*

*E: John Moniak <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>*

*[attachment "2100 PLANS RETAIL, APT AND PARING PLANS.pdf" deleted by John Mondlak/Commcert/Phila]*



John  
Mondlak/Commcert/Phila  
02/22/2013 08:48 AM

To Alex Wolfington <alex@wolfnet.co>  
cc Austin Wolfington <austin.wolfington@gmail.com>  
bcc  
Subject Re: AUSTIN WOLFINGTON 📎

Alex, I left you a voicemail. I will start the conversation on this end. Feel free to check back with me.

Austin, it is nice to meet you. I'm happy to help any way that I can. Feel free to call, but if you don't get me, an email will reach me much quicker than a voicemail.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
02/22/2013 08:10 AM

To John Moniak <John.Mondlak@phila.gov>  
cc Austin Wolfington <austin.wolfington@gmail.com>  
Subject AUSTIN WOLFINGTON

*Fri Feb 22, 2013*

*John;*

*By way of this email I would like to introduce you to my son, Austin Wolfington, who has begun handling Real Estate Transactions in the City. If he were to call you from time-to-time, I would appreciate it if you would give him your wisdom and guidance.*

*In anticipation of our next meeting I am attaching our preliminary development plan alternatives for the 2100 block of Market Street so that we can begin the Fire House discussions. Thank you again.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*John Mondiak – Director of Real Estate Development*

*1 Parkway Bldg (12<sup>th</sup> Fl)*


*Phila, PA 19102*

*P: 215-683-2009*

*E: John Moniak <John.Mondlak@phila.gov>*

*[attachment "2100 PLANS RETAIL, APT AND PARING  
PLANS.pdf" deleted by John Mondlak/Commcert/Phila]*

John  
Mondlak/Commcert/Phila  
02/15/2013 03:33 PM

To Alex Wolfington <alex@wolfnet.co>  
cc  
bcc  
Subject Re: ZONING CODE FOR 2100 MARKET STREET 

The easiest way to access the code is online. It is available directly from the City's website (www.phila.gov) or by clicking here: <http://www.amlegal.com/library/pa/philadelphia.shtml>

The zoning for CMX-5 is set forth in Chapter 14-600 and the bonusing is set forth in Chapter 14-700.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
02/08/2013 05:01 PM

To Alan Greenberger <John.Mondlak@phila.gov>  
cc  
Subject ZONING CODE FOR 2100 MARKET STREET

*Friday February 8, 2013*

*John;*

*Would you kindly send me a copy of the Zoning Code for 2100 Block of Market Street, particularly the zoning bonuses of which we spoke. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Fri, 1 Feb 2013 16:17:01 -0500

**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Demo Permit Question



Alex, I think we got cut off at the end of our conversation. Let me know if there is anything further we need to discuss. Also, in addition to Alan (if he is available), let me know if you would benefit from having someone else from the City attend next Thursday's meeting.

The Administrative Code can be found within the City Code at this site :

<http://www.amlegal.com/library/pa/philadelphia.shtml>

The specific section dealing with Demo Permits and the 21 day waiting period is reprinted below .

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

## SECTION A-303 DEMOLITION AND RELOCATION OF STRUCTURES

{Recent Amendment}

A-303.1 Service connections: Before a structure is demolished or removed, the owner or agent shall notify all utilities having service connections within the structure such as water, electric, gas, sewer and other connections. Service connections and appurtenant equipment, such as meters and regulators shall be removed or sealed and plugged in a safe manner.

A-303.2 Posting and Notice: 26 Prior to the demolition of a structure by the owner thereof, or demolition required by the Department of Licenses and Inspections, the department shall post a notice on the structure to be demolished and distribute an informational bulletin indicating that the City or owner intends to demolish said structure. The department shall distribute the informational bulletin to the front doors of the following properties:

1. The three nearest properties on each side of the subject property.
2. The seven nearest properties across the street from the subject property.
3. The seven nearest properties to the rear of the subject property.

The requirement to distribute an informational bulletin shall not create any actionable right for any resident or owner of the subject property or any neighboring property.

Exceptions:

1. In the event of an emergency which requires immediate action to protect the health or safety of the public, which shall include any time the Department has served notice of a requirement to demolish an imminently dangerous structure under Section PM-308.2 of this Title and demolition is carried out within 10 days of service by the Department of the notice requiring demolition; provided that the Department distributes the informational bulletin to any property abutting the property on which a structure is to be demolished.

2. When the structure has been posted as required by Section 14-2007(7)(b) 26.1 of The Philadelphia Code.

3. When the structure has been the subject of a variance granted by the Zoning Board of Adjustment.

A-303.2.1 Location and Time: 27 The notice shall be posted by the department on each street frontage of the premises with which the notice is concerned , and the informational bulletin distributed to neighboring properties within ten days of the issuance to the owner of the building permit to demolish or service by the Department of a notice requiring demolition or award of a demolition contract by the department. Posted notices shall remain until demolition of the structure , which shall not commence less than 21 days from the date of the issuance of the permit.

A-303.2.2 Content: 28 Such posted notice shall be clearly visible to the public . All notices shall contain the date on which actual demolition is permitted to commence .

A-303.2.3 Removal: No person shall remove such notice prior to the approved date on which demolition is permitted to commence, unless the owner notifies the department that the structure will not be demolished and the permit has been revoked by the department upon such request, in which case, the department shall remove the notice.

A-303.2.4 Penalties: Any property owner who violates the provisions of this Section shall be subject to penalties as prescribed in Chapter 6.

A-303.3 Lot regulation: Whenever a structure is demolished or removed, the premises shall be maintained free from all unsafe or hazardous conditions by the proper treatment of the lot, restoration of established grades and the erection of the necessary retaining walls and fences in accordance with existing building provisions of the building code.

A-303.4 Moved structures: Before any structure which has been moved is occupied, the structure and mechanical equipment shall be inspected for safe use and operation and for compliance with applicable provisions of this code and the technical codes.

John  
Mondlak/Commcert/Phila  
02/12/2013 07:30 PM

To plato@plato-studio.com, "Alex Wolfington"  
<alex@wolfnet.co>  
cc "Thomas Simmonds" <tsimmonds@realty42.com>  
bcc  
Subject Re: 2100 Market - Architectural Concept & Design 

I'll be back in the office tomorrow. Call me whenever convenient, and I will do the same.

John Mondlak  
Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
john.mondlak@phila.gov  
(215) 683-2009

---

**From:** "plato@plato-studio.com" [plato@plato-studio.com]  
**Sent:** 02/13/2013 12:28 AM GMT  
**To:** Alex Wolfington <alex@wolfnet.co>; John Mondlak  
**Cc:** Thomas Simmonds <tsimmonds@realty42.com>  
**Subject:** RE: 2100 Market - Architectural Concept & Design

John,

Nice to meet you. I think we met on the Budd Re-development project. Anyway, I would like to discuss our project with you at your convenience. Let me know when you are available.

Take care,

Plato



Plato A Marinakos Jr Architect LLC  
**Office and Design Center Address**  
2301 Washington Ave Suite 111  
Philadelphia, Pennsylvania 19146  
**Mail Address**  
2000 Hamilton Street  
Box 912  
Philadelphia, Pennsylvania, 19130  
**Office 267 295 5500**  
**Cell 610 207 7678 NOTE NEW NUMBER**  
Fax 866 869-2260  
[www.plato-studio.com](http://www.plato-studio.com)



**CHECK OUT THE LATEST ON OUR BLOG** <http://plato-studio.com/blog/>

**We are now on Twitter:** <http://twitter.com/phillyarchitect>

Skype ID [plato.marinakos.jr](https://www.skype.com/people/plato.marinakos.jr)

Please consider the environment before printing this e-mail. Thank you

This e-mail contains 1) PRIVILEGED AND CONFIDENTIAL INFORMATION intended only for the use of the Individual(s) named above 2) cannot be used in promoting, marketing, or recommending to another person any transaction or matter addressed herein.. If you are not the intended recipient of this e-mail, or the employee or agent responsible for delivering this to the intended recipient, you are hereby notified that any dissemination or copying of this e-mail is strictly prohibited. If you have received this e-mail in error, please immediately notify us by telephone at(610) 587-7756 or notify us by e-mail at [plato@plato-studio.com](mailto:plato@plato-studio.com)

**From:** Alex Wolfington [<mailto:alex@wolfnet.co>]

**Sent:** Tuesday, February 12, 2013 12:32 PM

**To:** Mondiak John

**Cc:** [plato@plato-studio.com](mailto:plato@plato-studio.com); Thomas Simmonds

**Subject:** 2100 Market - Architectural Concept & Design

*Tuesday, Feb 12, 2013*

*John:*

*The purpose of this letter, is to introduce you to Plato Marinakos, AIA, (# 267-295-5500 ) who is putting together the conceptual drawings for the 2100 Block of Market as you and Alan suggested.*

*The purpose of the introduction is to facilitate communication between you and Plato, so that he can ask you key questions, and give you updates as the plans progress.*

*It may make some sense for Plato and ourselves to meet with you once his preliminary concepts are available.*

*Look forward to your thoughts in this regard. Thank you.*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*



"plato@plato-studio.com"  
<plato@plato-studio.com>  
02/12/2013 07:28 PM

To Alex Wolfington <alex@wolfnet.co>, Mondiak John  
<John.Mondlak@phila.gov>  
cc Thomas Simmonds <tsimmonds@realty42.com>  
bcc

Subject RE: 2100 Market - Architectural Concept & Design

History: This message has been replied to and forwarded.

John,

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Take care,

Plato



Plato A Marinakos Jr Architect LLC  
**Office and Design Center Address**  
2301 Washington Ave Suite 111  
Philadelphia, Pennsylvania 19146

**Mail Address**

2000 Hamilton Street  
Box 912  
Philadelphia, Pennsylvania, 19130

**Office 267 295 5500**

**Cell 610 207 7678 NOTE NEW NUMBER**

Fax 866 869-2260

[www.plato-studio.com](http://www.plato-studio.com)

**CHECK OUT THE LATEST ON OUR BLOG** <http://plato-studio.com/blog/>

**We are now on Twitter:** <http://twitter.com/phillyarchitect>

Skype ID plato.marinakos.jr

Please consider the environment before printing this e-mail. Thank you

This e-mail contains 1) PRIVILEGED AND CONFIDENTIAL INFORMATION intended only for the use of the Individual(s) named above 2) cannot be used in promoting, marketing, or recommending to another person any transaction or matter addressed herein.. If you are not the intended recipient of this e-mail, or the employee or agent responsible for delivering this to the intended recipient, you are hereby notified that any dissemination or copying of this e-mail is strictly prohibited. If you have received this e-mail in error, please immediately notify us by telephone at(610) 587-7756 or notify us by e-mail at plato@plato-studio.com

**From:** Alex Wolfington [mailto:alex@wolfnet.co]

**Sent:** Tuesday, February 12, 2013 12:32 PM  
**To:** Mondiak John  
**Cc:** plato@plato-studio.com; Thomas Simmonds  
**Subject:** 2100 Market - Architectural Concept & Design

*Tuesday, Feb 12, 2013*

*John:*

*The purpose of this letter, is to introduce you to Plato Marinakos, AIA, (# 267-295-5500 ) who is putting together the conceptual drawings for the 2100 Block of Market as you and Alan suggested.*

*The purpose of the introduction is to facilitate communication between you and Plato, so that he can ask you key questions, and give you updates as the plans progress.*

*It may make some sense for Plato and ourselves to meet with you once his preliminary concepts are available.*

*Look forward to your thoughts in this regard. Thank you.*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >  
E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

John Mondlak  
Director of Real Estate



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
02/12/2013 12:32 PM

To Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc Plato AIA Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Thomas  
Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
bcc  
Subject 2100 Market - Architectural Concept & Design

*Tuesday, Feb 12, 2013*

*John:*

*The purpose of this letter, is to introduce you to Plato Marinakos, AIA, (# 267-295-5500 ) who is putting together the conceptual drawings for the 2100 Block of Market as you and Alan suggested.*

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*Look forward to your thoughts in this regard. Thank you.*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*

*E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

John Mondlak  
Director of Real Estate





Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
02/08/2013 05:01 PM

To: Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc  
bcc  
Subject: ZONING CODE FOR 2100 MARKET STREET

History: This message has been replied to.

*Friday February 8, 2013*

*John;*

*Would you kindly send me a copy of the Zoning Code for 2100 Block of Market Street, particularly the zoning bonuses of which we spoke. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

**From:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>

**Date:** Fri, 1 Feb 2013 16:17:01 -0500

**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Subject:** Demo Permit Question

Alex, I think we got cut off at the end of our conversation. Let me know if there is anything further we need to discuss. Also, in addition to Alan (if he is available), let me know if you would benefit from having someone else from the City attend next Thursday's meeting.

The Administrative Code can be found within the City Code at this site:

<http://www.amlegal.com/library/pa/philadelphia.shtml>

The specific section dealing with Demo Permits and the 21 day waiting period is reprinted below.

John Mondlak, Director of Real Estate Development  
City of Philadelphia Commerce Department  
1515 Arch Street, 12th Floor  
Philadelphia, PA 19102  
[john.mondlak@phila.gov](mailto:john.mondlak@phila.gov)  
(215) 683-2009

SECTION A-303 DEMOLITION AND RELOCATION OF STRUCTURES

{Recent Amendment}



A-303.1 Service connections: Before a structure is demolished or removed, the owner or agent shall notify all utilities having service connections within the structure such as water, electric, gas, sewer and other connections. Service connections and appurtenant equipment, such as meters and regulators shall be removed or sealed and plugged in a safe manner.

A-303.2 Posting and Notice: 26 Prior to the demolition of a structure by the owner thereof, or demolition required by the Department of Licenses and Inspections, the department shall post a notice on the structure to be demolished and distribute an informational bulletin indicating that the City or owner intends to demolish said structure. The department shall distribute the informational bulletin to the front doors of the following properties:

1. The three nearest properties on each side of the subject property.
2. The seven nearest properties across the street from the subject property.
3. The seven nearest properties to the rear of the subject property.

The requirement to distribute an informational bulletin shall not create any actionable right for any resident or owner of the subject property or any neighboring property.

Exceptions:

1. In the event of an emergency which requires immediate action to protect the health or safety of the public, which shall include any time the Department has served notice of a requirement to demolish an imminently dangerous structure under Section PM-308.2 of this Title and demolition is carried out within 10 days of service by the Department of the notice requiring demolition; provided that the Department distributes the informational bulletin to any property abutting the property on which a structure is to be demolished.

2. When the structure has been posted as required by Section 14-2007(7)(b) 26.1 of The Philadelphia Code.

3. When the structure has been the subject of a variance granted by the Zoning Board of Adjustment.

A-303.2.1 Location and Time: 27 The notice shall be posted by the department on each street frontage of the premises with which the notice is concerned, and the informational bulletin distributed to neighboring properties within ten days of the issuance to the owner of the building permit to demolish or service by the Department of a notice requiring demolition or award of a demolition contract by the department. Posted notices shall remain until demolition of the structure, which shall not commence less than 21 days from the date of the issuance of the permit.

A-303.2.2 Content: 28 Such posted notice shall be clearly visible to the public. All notices shall contain the date on which actual demolition is permitted to commence.

A-303.2.3 Removal: No person shall remove such notice prior to the approved date on which demolition is permitted to commence, unless the owner notifies the department that the structure will not be demolished and the permit has been revoked by the department upon such request, in which case, the department shall remove the notice.

A-303.2.4 Penalties: Any property owner who violates the provisions of this Section shall be subject to penalties as prescribed in Chapter 6.

A-303.3 Lot regulation: Whenever a structure is demolished or removed, the premises shall be maintained free from all unsafe or hazardous conditions by the proper treatment of the lot, restoration of established

grades and the erection of the necessary retaining walls and fences in accordance with existing building provisions of the building code.

A-303.4 Moved structures: Before any structure which has been moved is occupied, the structure and mechanical equipment shall be inspected for safe use and operation and for compliance with applicable provisions of this code and the technical codes.



Thomas Simmonds  
<tsimmonds@realty42.com>  
02/07/2013 10:08 AM

To "John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, "Natalie.Shieh@Phila.gov" <Natalie.Shieh@Phila.gov>  
cc Frank Cresci <fcresci@realty42.com>

bcc

Subject Contact Info/Intro - 2100/2200 Market Street development

Good Morning John and Natalie: Richard Basciano and I thoroughly enjoyed meeting with Alan Greenberger and you on January 31, 2013 re the above project. Should you require any information, updates, etc., please feel free to contact me at either of the numbers below. Our Controller Frank Cresci is copied above: we look forward to working with your good office to realize Richard's redevelopment goal and vision to revitalize West Market Street.


Best regards,  
Thom

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
**S.T.B. INVESTMENTS CORP.**  
**300 WEST 43RD STREET – SUITE 400**  
**NEW YORK, NEW YORK 10036**  
**212.247-4910 (201) - OFFICE**  
**347.234.0468 - MOBILE**



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
02/05/2013 01:09 AM

To Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc "Clarice.Brown@phila.gov" <[Clarice.Brown@phila.gov](mailto:Clarice.Brown@phila.gov)>  
bcc  
Subject MEETING DAY, DATE AND TIME TO BE RESCHEDULED

History:  This message has been forwarded.

Monday, February 4, 2013

John;

Sheldon Libfeld and Jeffrey Orleans have advised me that due to airline scheduling they cannot make the meeting on Thursday **as outlined below**. I will come back to you with some alternative days, dates, and times to reschedule the meeting.

**Day:** Thursday (**CANCELLED**)

**Date:** February 7th

**Time:** 5:00 pm – 5:30 pm

**Place:** City of Philadelphia Office  
1515 Arch Street (12th Floor)  
1 Parkway Building  
Phila., PA 19102

**Participants:** Alan Greenberger  
John Mondiak  
Jeffrey Orleans  
Sheldon Libfeld (The Conservatory Group USA Inc.)  
Thomas Simmonds  
Alex Wolfington

BEST,

ALEX (C:610-304-3345)

Alex Wolfington  
Wolfnet

O: (610)-526-9700

C (610)-304-3345

E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>





Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
02/01/2013 04:25 PM

To Mondlak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>, Alan Greenberger  
<[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
bcc  
Subject MEETING CONFIRMATION

*Friday, February 1, 2013*

*Please accept this email as confirmation of Thursday's meeting.  
The details are set forth below as follows:*

**Day:** Thursday

**Date:** February 7th

**Time:** 5:00 pm – 5:30 pm

**Place:** City of Philadelphia Office  
1515 Arch Street (12th Floor)  
1 Parkway Building  
Phila., PA 19102

**Participants:** Alan Greenberger  
John Mondiak  
Jeffrey Orleans  
Sheldon Libfeld (The Conservatory Group USA Inc.)  
Thomas Simmonds  
Alex Wolfington

*BEST,*  
ALEX (C:610-304-3345)  
Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C (610)-304-3345  
E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>

John Mondiak  
Director of Real Estate Development  
City of Philadelphia  
1 Parkway Building  
1515 Arch Street (12th Floor)  
Phila., PA 19102  
P: 215-683-2009  
Mondlak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>





Alex Wolfington  
<alex@wolfnet.co>  
03/12/2013 10:13 AM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Mondiak John <John.Mondlak@phila.gov>  
bcc  
Subject 2100 MARKET STREET

*Tuesday, March 12, 2013*

*Alan & John:*

*I would like to sit down with you for about 1/2 hour to review the progress update and discuss the draft plans and pending Salvation Army discussions.*

*Would you kindly let me know two alternative day, dates & times that work best for each of you. Thank you*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Alex Wolfington  
<alex@wolfnet.co>  
03/21/2013 11:00 AM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Mondiak John <John.Mondlak@phila.gov>  
bcc  
Subject 2100 BLOCK OF MARKET

Thursday, March 21, 2013

Alan:

*It was good to speak to you this morning to catch up on 2100 Market Details. As discussed:*

- 1) We have attached per your request the Twin Tower Plan*
  - Plan Option A is a current development choice*
- 2) Attached is the V-Card for Major Charles Deitrick of the Salvation Army*
  - Any encouragement on your part would be greatly appreciated*
  - Re: 2324 Market swap – I'll discuss \$400K Mgt w/ Richard*
- 3) You will be sending me the \$9,000,000 F.H. relocation budget*
  - We understand this budget does not include land value*
- 4) You will be confirming whether there is any availability of F.H. relocation funding:*
  - City Capital*
  - PIDC*
  - RCAP (Zero job impact)*
  - Other public funding alternatives*

*Thank you for completing the F.H. relocation budget. I will report back to you with regard to Richard's thoughts to providing a long term \$400,000 purchase Money Mortgage for the Salvation Army at 2324 Market*

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C (610)-304-3345  
E: <alex@wolfnet.co>  
E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*



2100 MARKET TWIN TOWER PLAN.pdf Major Charles Deitrick.vcf





Alex Wolfington  
<alex@wolfnet.co>  
04/25/2013 12:47 AM

To: Mondiak John <John.Mondlak@phila.gov>  
cc: Alan Greenberger <Alan.Greenberger@Phila.Gov>, Alan  
Greenberger <Luke.Butler@phila.gov>  
bcc:  
Subject: 2100 BLOCK OF MARKET FIRE HOUSE RELOCATION  
SITE IN 2200 BLOCK OF MARKET ST

*Wednesday April 24, 2013*

*John;*

*Per your request attached is a site plan and 3-dimensional plan for the **Fire House Relocation** to the former Forum Theatre Site in the 2200 block of Market Street. Please discuss it with the fire commissioner when you meet this week and let us know your thoughts. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



2100 FIRE HOUSE RELOCATON SITE - 2200 market street block\_04\_24\_13.pdf



Alex Wolfington  
<alex@wolfnet.co>  
05/03/2013 05:32 PM

To Mondiak John <John.Mondlak@phila.gov>  
cc Alan Greenberger <Alan.Greenberger@Phila.Gov>  
bcc  
Subject 2100 BLOCK FIRE HOUSE RELOCATION

*Friday May 3, 2013*

*John;*

*With time being of the essence would you kindly let me know if you met with the Fire Commissioner, showed him our site plan for the relocation of the fire house and are we in a position to sit down to discuss the process, the cost and the funding. Please advise. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 09:49 AM

To "Charles.Deitrick@USE.SalvationArmy.org"  
<Charles.Deitrick@USE.SalvationArmy.org>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>,  
"John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>,  
bcc

Subject FW: 2140 Market Street, Phila., PA

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

TIME IS OF THE ESSENCE so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
**S.T.B. Investments Corp.**  
**300 WEST 43RD STREET – Suite 400**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468 (Mobile)**  
**212.247.4910 (201) (Office)**

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,

Thom

**THOMAS J. SIMMONDS, JR.**  
**PROPERTY MANAGER**  
**S.T.B. INVESTMENTS, CORP.**  
**300 WEST 43RD STREET – SUITE 400**  
**NEW YORK, NEW YORK 10036**  
**212.247.4910 (201) OFFICE**  
**347.234.0468 - MOBILE**

**From:** [canon@realty42.com](mailto:canon@realty42.com) [mailto:[canon@realty42.com](mailto:canon@realty42.com)]

**Sent:** Thursday, February 07, 2013 6:07 PM

**To:** Thomas Simmonds

**Subject:** Attached Image



0379\_001.pdf



"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>  
05/09/2013 10:13 AM

To Thomas Simmonds <tsimmonds@realty42.com>, "John Cranford" <JCranford@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>, bcc

Subject Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
Charles.Deitrick@use.salvationarmy.org  
Web :www.SalvationArmyARC.org

The only preparation for tomorrow is the right use of today.

Thomas Simmonds  
<tsimmonds@realty42.com>

05/09/2013 09:49 AM

To "Charles.Deitrick@USE.SalvationArmy.org" <Charles.Deitrick@USE.SalvationArmy.org>, cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, "John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, "plato@plato-studio.com" <plato@plato-studio.com>, Frank Cresci <fcresci@realty42.com>  
Sub FW: 2140 Market Street, Phila., PA  
ject

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**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,  
Thom Simmonds

**THOM SIMMONDS  
PROPERTY MANAGER**

S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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Very truly yours,  
Thom

THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



-- 0379\_001.pdf



Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 10:15 AM

To 'Charles Deitrick'  
<[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford  
<[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>  
cc "'Alan.Greenberger@Phila.gov"  
<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington'  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
**Subject:** Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
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440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
>

05/09/2013 09:49 AM

To "'Charles.Deitrick@USE.SalvationArmy.org"' <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>,  
cc "'Alan.Greenberger@Phila.gov"' <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "'John.Mondlak@Phila.gov"' <  
[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "'plato@plato-studio.com"' <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubFW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

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Thom Simmonds

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**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
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Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,

Thom

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PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image





Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 10:27 AM

To 'Charles Deitrick'  
<[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>  
cc ""[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)""  
<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>,  
""[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)"" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you – I look forward to hearing from you.  
Best regards,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

I have a call into Major Cranford, We will back to you after I hear from him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 10:14 AM  
To 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>,  
cc ""[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)"" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, ""[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)"" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
""[plato@plato-studio.com](mailto:plato@plato-studio.com)"" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
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**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
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05/09/2013 09:49 AM

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Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

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**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>  
05/09/2013 01:53 PM

To Thomas Simmonds <tsimmonds@realty42.com>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, "Frank Cresci" <fcresci@realty42.com>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

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Adult Rehabilitation Centers Command  
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05/09/2013 10:27 AM

To 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>,  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, "John.Mondlak@Phila.gov"  
<John.Mondlak@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, "plato@plato-studio.com"  
<plato@plato-studio.com>, "Frank Cresci" <fcresci@realty42.com>  
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cc "'Alan.Greenberger@Phila.gov'" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolffnet.co](mailto:alex@wolffnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
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05/09/2013 09:49 AM

To ""Charles.Deitrick@USE.SalvationArmy.org"" <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>,  
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[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, ""plato@plato-studio.com"" <  
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Sub FW: 2140 Market Street, Phila., PA  
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Thank you,

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S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
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**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

--


--

--



Alex Wolfington  
<alex@wolfnet.co>  
05/09/2013 02:01 PM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc  
bcc  
Subject Rappaport Estate Garage situated at 347 S. Broad Street,

History:  This message has been replied to.

*Thursday, May 9, 2013*

*Alan:*

*Pursuant to our last meeting at the Symphony House would you kindly let me know the results of your subsequent meeting with **Sean Buffington** to determine what level of interest The University of the Arts may have in the Rappaport Estate Garage situated at 347 S. Broad Street,*

*I look forward to your direction. Thank you*

*BEST,*

*ALEX (C: 610-304-3345)*

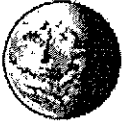
*Alex Wolfington  
Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*





Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 02:03 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.

Thank you,

Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Thursday, May 09, 2013 1:54 PM  
**To:** Thomas Simmonds  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser; John Cranford  
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[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
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**PROPERTY MANAGER**

**S.T.B. Investments Corp.**

**300 WEST 43RD STREET – Suite 400**

**NEW YORK, NEW YORK 10036**

**347.234.0468 (Mobile)**

**212.247.4910 (201) (Office)**

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**Sent:** Thursday, February 07, 2013 6:13 PM

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**Cc:** Frank Cresci

**Subject:** 2140 Market Street, Phila., PA

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**212.247.4910 (201) OFFICE**

**347.234.0468 - MOBILE**

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**To:** Thomas Simmonds  
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Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:31 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc 'Alex Wolfington' <alex@wolfnet.co>,  
"Alistair.Fraser@USE.salvationarmy.org"  
<Alistair.Fraser@USE.salvationarmy.org>, 'Major Cranford'  
bcc

Subject RE: POST CONFERENCE CALL ACTION PLAN

Gentlemen: It is now 12:30 and I requested your architect's "comprehensive response" by noon – 30 minutes ago. Please advise – the next photo I send you via e-mail will show you that we're now at an impasse.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Friday, May 10, 2013 10:41 AM  
**To:** 'Charles Deitrick'  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Major: Thank you for clarifying. I just spoke to our architect Plato Marinakos (copied above) who stressed the **TIME SENSITIVE** nature of the "comprehensive response" since, as you are aware, 2136-38 Market Street is nearly demolished and every minute that passes increases the liability exposure for all parties. Accordingly I request receipt the aforementioned response no later than noon, Monday, May 13, 2013 so that none of the components of this matter are unduly delayed.

By way of introduction, I have copied our attorney Joel Oshtry above who will be contacting your attorney Steve Nudell (717-236-5000) re the "access agreement" per your advice.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Friday, May 10, 2013 10:30 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Alistair will send a list from his experience but , we will also work through our architect for a

comprehensive response.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/10/2013 10:04 AM  
To: Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Alex Wolfington" <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
>,  
cc: Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, Major Cranford  
<[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubRE: POST CONFERENCE CALL ACTION PLAN  
ject

Major Deitrick/Mr. Fraser: Thank you again for the enlightening conversation we had earlier this morning. Will you be providing me with your roof/east wall concerns today for our architect to review or will that be coming from the local architect you reference below? Kindly advise.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 9:57 AM  
**To:** Alex Wolfington  
**Cc:** [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos; Thomas Simmonds  
**Subject:** Re: POST CONFERENCE CALL ACTION PLAN

There is no commitment for Alistair to come to Philadelphia, We will have a local Architect represent us, This will be identified and shared . We will work at the timing of the professionals that are engaged. As was stated we will work to meet our neighborly goals but at same time protect our own investments. As stated no commitments are made at this point other than to work together in dialogue to proceed.

Thank you  
Have Blessed Day

Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Alex Wolfington <  
[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/10/2013 09:36 AM

To "Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, cc Major Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Major Cranford" <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubPOST CONFERENCE CALL ACTION PLAN  
ject

Friday, May 10, 2013

Alistair:

Pursuant to our conference call at 9:00 a.m. this morning, it is my understanding that we will implement the following steps regarding the demolition of 2138 Market Street (Philadelphia):

- 1) Joel Oshstry, Esq will reach out for the Salvation's Army Attorney at 717-236-5000 to mutually prepare an "Access Agreement" with the intent of reaching and executing an Agreement by the end of next week
- 2) Alistar Fraser will prepare a description of his concerns as it relates to the flashing, chimney and walls at 2140 Market Street throughout the "2138" demolition process
- 3) Plato Marinakos will prepare a description of what steps he will be taking regarding the post-demolition protection of 2140 Market Street



4) If need be, Alistar will come to Philadelphia early next week to meet with Plato for an onsite clarification of the demolition work to be completed

5) The parties will agree to work on collaborative and neighborly basis to expedite the completion of a smooth demolition process

Please let me know if I have not accurately set forth our understanding.

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

--

--



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:39 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

**THOM SIMMONDS**  
**300 WEST 43RD STREET**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468**

**From:** canon@realty42.com [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



1587\_001.pdf



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
05/13/2013 02:03 PM

To: Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc  
bcc  
Subject: Rappaport Estate Garage situated at 347 S. Broad Street,

*Monday May 13, 2013*

*Alan;*

*Thank you. I will put it on the back burner until and unless you and Sean advise otherwise.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: <[alex@wolfnet.co](mailto:alex@wolfnet.co)>*

**From:** Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
**Date:** Mon, 13 May 2013 13:09:44 -0400  
**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
**Cc:** Alan Greenberger <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
**Subject:** Re: Rappaport Estate Garage situated at 347 S. Broad Street,

Alex,

I talked to Sean last week. While they would undoubtedly like to control the property, it didn't sound to me like this was their highest priority in the event that they sold their other property on the block. At this time, I think it's on the back burner.

That said, if the Estate starts having more interest on their own in selling the property, please let me know.

Alan

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600

E [alan.greenberger@phila.gov](mailto:alan.greenberger@phila.gov)

For scheduling appointments,  
please contact [eva.lopez@phila.gov](mailto:eva.lopez@phila.gov)

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/09/2013 02:01 PM

To Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc

Subject Rappaport Estate Garage situated at 347 S. Broad Street,

*Thursday, May 9, 2013*

*Alan:*

*Pursuant to our last meeting at the Symphony House would you kindly let me know the results of your subsequent meeting with **Sean Buffington** to determine what level of interest The University of the Arts may have in the Rappaport Estate Garage situated at 347 S. Broad Street,*

*I look forward to your direction. Thank you*

*BEST,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 05:29 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc  
Subject RE: 2136-38 Market Street

Major Deitrick: I received your voice message (4:47PM) re the above property. Joel Oshtry spoke with Steve Nudell today about the "access agreement" but advised Joel that he is not aware of any architect's involvement on your behalf. Mr. Nudell advised Mr. Oshtry that he would be contacting your offices for that information. I suggest you coordinate communication among Mr. Nudell, your architect and Joel Oshtry immediately so that we can conclude the demolition on the block.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Monday, May 13, 2013 12:40 PM  
**To:** 'Major Cranford'; 'Charles Deitrick'; 'Alistair.Fraser@USE.salvationarmy.org'  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'; 'Plato Marinakos'; 'Alex Wolfington'; Frank Cresci; 'oshtrylaw@aol.com'  
**Subject:** 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.


**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** [canon@realty42.com](mailto:canon@realty42.com) [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



Alex Wolfington  
<alex@wolfnet.co>  
05/17/2013 08:52 AM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Mondiak John <John.Mondlak@phila.gov>  
bcc  
Subject 2100 BLOCK OF MARKET ST FIRE HOUSE

History:  This message has been replied to.

*Friday May 17, 2013*

*Alan;*

*We are at a crucial point in our decision process regarding the Fire House. As you know since November of last year (7 months ago) we have been seeking direction from you regarding the process to negotiate an agreement with the City either to relocate or cantilever over the existing Fire House. Would you kindly arrange for us to meet with the decision makers next week, so we can determine the most effective and mutually beneficial way to proceed. Thank in advance, as we will await your feedback.*

*Best,*


*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

Alan  
Greenberger/CityPlan/Phila  
Sent by: a greenberger

05/13/2013 01:09 PM

To Alex Wolfington <alex@wolfnet.co>  
cc John.Mondlak@exchange.local@PHILA  
bcc

Subject Re: Rappaport Estate Garage situated at 347 S. Broad  
Street, 

Alex,

I talked to Sean last week. While they would undoubtedly like to control the property, it didn't sound to me like this was their highest priority in the event that they sold their other property on the block. At this time, I think it's on the back burner.

That said, if the Estate starts having more interest on their own in selling the property, please let me know.  
Alan

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600  
E alan.greenberger@phila.gov

For scheduling appointments,  
please contact eva.lopez@phila.gov  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
05/09/2013 02:01 PM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc  
Subject Rappaport Estate Garage situated at 347 S. Broad Street,

*Thursday, May 9, 2013*

*Alan:*

*Pursuant to our last meeting at the Symphony House would you kindly let me know the results of your subsequent meeting with **Sean Buffington** to determine what level of interest The University of the Arts may have in the Rappaport Estate Garage situated at 347 S. Broad Street,*

*I look forward to your direction. Thank you*

*BEST,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700*

C: (610)-304-3345


E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >



Alan  
Greenberger/CityPlan/Phila  
Sent by: a greenberger

05/20/2013 09:49 AM

To Alex Wolfington <alex@wolfnet.co>  
cc John.Mondlak@exchange.local@PHILA  
bcc

Subject Re: 2100 BLOCK OF MARKET ST FIRE HOUSE 

We are getting a meeting set up with Fire Commissioner Ayers to discuss. I mentioned it to him several weeks ago so he knows what the subject is.

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600  
E alan.greenberger@phila.gov

For scheduling appointments,  
please contact eva.lopez@phila.gov  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
05/17/2013 08:52 AM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Mondiak John <John.Mondlak@phila.gov>  
Subject 2100 BLOCK OF MARKET ST FIRE HOUSE

*Friday May 17, 2013*

*Alan;*

*We are at a crucial point in our decision process regarding the Fire House. As you know since November of last year (7 months ago) we have been seeking direction from you regarding the process to negotiate an agreement with the City either to relocate or cantilever over the existing Fire House. Would you kindly arrange for us to meet with the decision makers next week, so we can determine the most effective and mutually beneficial way to proceed. Thank in advance, as we will await your feedback.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

Alan  
Greenberger/CityPlan/Phila  
Sent by: a greenberger

05/21/2013 12:39 PM

To Alex Wolfington <alex@wolfnet.co>  
cc Mondiak John <John.Mondlak@phila.gov>

bcc

Subject Re: ALAN T.Y. = CAN WE BE PRESENT AT MEETING  
WITH Fire Commissioner Ayers ?<sup>4</sup>

Alex,

I think that it is important that the Commissioner hear this through without the pressure of the developer in the room. This will work out better for him and for you in the long run.

Alan

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600  
E alan.greenberger@phila.gov

For scheduling appointments,  
please contact eva.lopez@phila.gov  
Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
05/20/2013 06:44 PM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>, Mondiak  
John <John.Mondlak@phila.gov>  
cc

Subject ALAN T.Y. = CAN WE BE PRESENT AT MEETING WITH  
Fire Commissioner Ayers ?

*Alex Wolfington*  
*Wolfnet*  
*O: (610)-526-9700*  
*C: (610)-304-3345*  
*E: < alex@wolfnet.co >*

**From:** Alan Greenberger <Alan.Greenberger@Phila.Gov>  
**Date:** Mon, 20 May 2013 09:49:35 -0400  
**To:** ALEX WOLFINGTON <alex@wolfnet.co>  
**Cc:** Alan Greenberger <John.Mondlak@phila.gov>  
**Subject:** Re: 2100 BLOCK OF MARKET ST FIRE HOUSE

We are getting a meeting set up with Fire Commissioner Ayers to discuss. I mentioned it to him several weeks ago so he knows what the subject is.

Alan Greenberger  
Deputy Mayor for Economic Development  
T 215 683 4600  
E [alan.greenberger@phila.gov](mailto:alan.greenberger@phila.gov)

For scheduling appointments,  
please contact [eva.lopez@phila.gov](mailto:eva.lopez@phila.gov)

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/17/2013 08:52 AM

To Alan Greenberger <[Alan.Greenberger@Phila.Gov](mailto:Alan.Greenberger@Phila.Gov)>  
cc Mondiak John <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
Subject 2100 BLOCK OF MARKET ST FIRE HOUSE

*Friday May 17, 2013*

*Alan;*

*We are at a crucial point in our decision process regarding the Fire House. As you know since November of last year (7 months ago) we have been seeking direction from you regarding the process to negotiate an agreement with the City either to relocate or cantilever over the existing Fire House. Would you kindly arrange for us to meet with the decision makers next week, so we can determine the most effective and mutually beneficial way to proceed. Thank in advance, as we will await your feedback.*


*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Clarice  
Brown/Commcert/Phila  
01/29/2013 03:17 PM

To Alex Wolfington <alex@wolfnet.co>  
cc "Eva.Lopez@phila.gov" <Eva.Lopez@phila.gov>,  
"John.Mondlak@phila.gov" <John.Mondlak@phila.gov>  
bcc  
Subject Re: REQUEST FOR THURSDAY OR FRIDAY MORNING  
Meeting with Deputy Mayor Greenberger 

Confirming meeting with Deputy Mayor Greenberger for Thursday, January 31, 2013 at 2:30 pm. The meeting will be held at One Parkway - 1515 Arch Street - 13th floor.

Clarice Brown  
1515 Arch Street - One Parkway  
Philadelphia, Pa 19102  
Phone: 215-683-2007  
email: clarice.brown@phila.gov

Alex Wolfington  
<alex@wolfnet.co>

01/29/2013 02:47 PM

To "Eva.Lopez@phila.gov" <Eva.Lopez@phila.gov>, "John.Mondlak@phila.gov"  
<John.Mondlak@phila.gov>  
cc "Clarice.Brown@phila.gov" <Clarice.Brown@phila.gov>  
Subje Re: REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor  
ct Greenberger

Tuesday, January 29, 2013

Eva:

This email confirms that Deputy Alan Greenberg will meet with  
Richard Basciano, Thomas Simmonds & Alex Wolfington on Thursday.  
The details are set forth as follows;

**Day:** Thursday  
**Date:** January 31st  
**Time:** 2:30 p.m.  
**Place:** One Parkway (913th Floor)  
1515 Arch Street  
Phila, PA

**Participants:** Alan Greenberger

Richard Basciano  
Thomas Simmonds  
Alex Wolfington

**P.S.** Please confirm that I have the proper address

Thank you

Lisa

*Lisa Currie*

*Executive Assistant to Alex Wolfington  
Wolfington Network  
O: (610)-526-9700  
F: (610)-526-9701  
E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

**From:** Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>  
**Date:** Tuesday, January 29, 2013 1:31 PM  
**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)" <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
**Cc:** "[Clarice.Brown@phila.gov](mailto:Clarice.Brown@phila.gov)" <[Clarice.Brown@phila.gov](mailto:Clarice.Brown@phila.gov)>  
**Subject:** Re: REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor Greenberger

Please copy Clarice on your reply. I will be leaving the office early today. Tx

Eva Lopez/CityPlan/Phila

01/29/2013 12:41 PM

To Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
cc John Mondlak/Commcert/Phila@PHILA  
Subjec Re: REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor  
t Greenberger [Link](#)

Hello:

Alan can meet Thursday at 2:30 or 4:30pm. He is not available Friday

Eva Lopez, Assistant to  
Alan J. Greenberger, FAIA  
Deputy Mayor for Economic Development  
TEL: 215-683-4605

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

01/28/2013 05:54 PM

To Luke Butler <[Luke.Butler@phila.gov](mailto:Luke.Butler@phila.gov)>

cc Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>

Subje REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor  
ct Greenberger

*Mon Jan 28, 2013*

*Luke;*

*Would you kindly call me in the morning 610-304-3345, so we can set up a meeting with Alan, Richard Basciano and me for Thursday afternoon or Friday Morning to pick up on our 2100 Block of Market Street Conversation, as we have made significant progress and want to go over the next step with Alan. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700*

C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >

**From:** Luke Butler <[Luke.Butler@phila.gov](mailto:Luke.Butler@phila.gov)>  
**Date:** Thu, 29 Nov 2012 17:30:37 -0500  
**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
**Cc:** Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>  
**Subject:** Meeting with Deputy Mayor Greenberger

Hi Alex,

Just tried your cell but wanted to also send you an email.

Mayor asked Alan (Deputy Mayor for Economic Development) to meet with you, Mr Basciano and Mr Simmonds regarding the Market Street development. Eva, Alan's scheduler (copied here) will be in touch to set up the meeting.

Thanks,  
Luke

Luke Butler  
Chief of Staff  
Office of Deputy Mayor for Economic Development  
City of Philadelphia  
O: 215-683-4614  
C: 267 438 7119







"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>

05/09/2013 10:13 AM

To Thomas Simmonds <tsimmonds@realty42.com>, "John Cranford" <JCranford@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
Charles.Deitrick@use.salvationarmy.org  
Web :www.SalvationArmyARC.org

The only preparation for tomorrow is the right use of today.

Thomas Simmonds  
<tsimmonds@realty42.com>

05/09/2013 09:49 AM

To "Charles.Deitrick@USE.SalvationArmy.org" <Charles.Deitrick@USE.SalvationArmy.org>,  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, "John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, "plato@plato-studio.com" <plato@plato-studio.com>, Frank Cresci <fcresci@realty42.com>  
Sub FW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

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Thank you,

Thom Simmonds

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PROPERTY MANAGER**

S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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**To:** Thomas Simmonds  
**Subject:** Attached Image

  
-- 0379\_001.pdf



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 10:15 AM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>, John Cranford  
<JCranford@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov"  
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**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
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General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
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[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
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Subject RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.  
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05/09/2013 10:14 AM To:'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>,  
cc'"Alan.Greenberger@Phila.gov'" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "'John.Mondlak@Phila.gov'" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
SubRE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
**Subject:** Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 09:49 AM

To"Charles.Deitrick@USE.SalvationArmy.org" <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>, cc"Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubFW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

TIME IS OF THE ESSENCE so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,

Thom

**THOMAS J. SIMMONDS, JR.**  
**PROPERTY MANAGER**  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

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Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:31 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc 'Alex Wolfington' <alex@wolfnet.co>,  
"Alistair.Fraser@USE.salvationarmy.org"  
<Alistair.Fraser@USE.salvationarmy.org>, 'Major Cranford'  
bcc

Subject RE: POST CONFERENCE CALL ACTION PLAN

Gentlemen: It is now 12:30 and I requested your architect's "comprehensive response" by noon – 30 minutes ago. Please advise – the next photo I send you via e-mail will show you that we're now at an impasse.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Friday, May 10, 2013 10:41 AM  
**To:** 'Charles Deitrick'  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Major: Thank you for clarifying. I just spoke to our architect Plato Marinakos (copied above) who stressed the TIME SENSITIVE nature of the "comprehensive response" since, as you are aware, 2136-38 Market Street is nearly demolished and every minute that passes increases the liability exposure for all parties. Accordingly I request receipt the aforementioned response no later than noon, Monday, May 13, 2013 so that none of the components of this matter are unduly delayed.

By way of introduction, I have copied our attorney Joel Oshtry above who will be contacting your attorney Steve Nudell (717-236-5000) re the "access agreement" per your advice.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 10:30 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Alistair will send a list from his experience but , we will also work through our architect for a

comprehensive response.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)> To: Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Alex Wolfington" <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, >  
05/10/2013 10:04 AM cc: "Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, Major Cranford <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubRE: POST CONFERENCE CALL ACTION PLAN  
ject

Major Deitrick/Mr. Fraser: Thank you again for the enlightening conversation we had earlier this morning. Will you be providing me with your roof/east wall concerns today for our architect to review or will that be coming from the local architect you reference below? Kindly advise.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 9:57 AM  
**To:** Alex Wolfington  
**Cc:** [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos; Thomas Simmonds  
**Subject:** Re: POST CONFERENCE CALL ACTION PLAN

There is no commitment for Alistair to come to Philadelphia, We will have a local Architect represent us, This will be identified and shared . We will work at the timing of the professionals that are engaged. As was stated we will work to meet our neighborly goals but at same time protect our own investments. As stated no commitments are made at this point other than to work together in dialogue to proceed.

Thank you  
Have Blessed Day

Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Alex Wolfington <  
[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/10/2013 09:36 AM

To "[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, ccMajor Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Major Cranford" <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubPOST CONFERENCE CALL ACTION PLAN  
ject

Friday, May 10, 2013

Alistair:

Pursuant to our conference call at 9:00 a.m. this morning, it is my understanding that we will implement the following steps regarding the demolition of 2138 Market Street (Philadelphia):

- 1) Joel Oshstry, Esq will reach out for the Salvation's Army Attorney at 717-236-5000 to mutually prepare an "Access Agreement" with the intent of reaching and executing an Agreement by the end of next week
- 2) Alistar Fraser will prepare a description of his concerns as it relates to the flashing, chimney and walls at 2140 Market Street throughout the "2138" demolition process
- 3) Plato Marinakos will prepare a description of what steps he will be taking regarding the post-demolition protection of 2140 Market Street

4) If need be, Alistar will come to Philadelphia early next week to meet with Plato for an onsite clarification of the demolition work to be completed

5) The parties will agree to work on collaborative and neighborly basis to expedite the completion of a smooth demolition process

Please let me know if I have not accurately set forth our understanding.

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

--

--



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:39 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** canon@realty42.com [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



1587\_001.pdf



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 05:29 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject RE: 2136-38 Market Street

Major Deitrick: I received your voice message (4:47PM) re the above property. Joel Oshtry spoke with Steve Nudell today about the "access agreement" but advised Joel that he is not aware of any architect's involvement on your behalf. Mr. Nudell advised Mr. Oshtry that he would be contacting your offices for that information. I suggest you coordinate communication among Mr. Nudell, your architect and Joel Oshtry immediately so that we can conclude the demolition on the block.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Monday, May 13, 2013 12:40 PM  
**To:** 'Major Cranford'; 'Charles Deitrick'; 'Alistair.Fraser@USE.salvationarmy.org'  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'; 'Plato Marinakos'; 'Alex Wolfington'; Frank Cresci; 'oshtrylaw@aol.com'  
**Subject:** 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** [canon@realty42.com](mailto:canon@realty42.com) [<mailto:canon@realty42.com>]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



Eva Lopez/CityPlan/Phila  
01/29/2013 01:31 PM

To Alex Wolfington <alex@wolfnet.co>, John  
Mondlak/Commcert/Phila@PHILA  
cc Clarice Brown/Commcert/Phila@Phila  
bcc  
Subject Re: REQUEST FOR THURSDAY OR FRIDAY MORNING  
Meeting with Deputy Mayor Greenberger

Please copy Clarice on your reply. I will be leaving the office early today. Tx

Eva Lopez/CityPlan/Phila



Eva Lopez/CityPlan/Phila  
01/29/2013 12:41 PM

To Alex Wolfington <alex@wolfnet.co>  
cc John Mondlak/Commcert/Phila@PHILA  
Subject Re: REQUEST FOR THURSDAY OR FRIDAY MORNING  
Meeting with Deputy Mayor Greenberger

Hello:

Alan can meet Thursday at 2:30 or 4:30pm. He is not available Friday

Eva Lopez, Assistant to  
Alan J. Greenberger, FAIA  
Deputy Mayor for Economic Development  
TEL: 215-683-4605

Alex Wolfington <alex@wolfnet.co>



Alex Wolfington  
<alex@wolfnet.co>  
01/28/2013 05:54 PM

To Luke Butler <Luke.Butler@phila.gov>  
cc Eva Lopez <Eva.Lopez@phila.gov>  
Subject REQUEST FOR THURSDAY OR FRIDAY MORNING  
Meeting with Deputy Mayor Greenberger

*Mon Jan 28, 2013*

*Luke;*

*Would you kindly call me in the morning 610-304-3345, so we can set up a*

*meeting with Alan, Richard Basciano and me for Thursday afternoon or Friday Morning to pick up on our 2100 Block of Market Street Conversation, as we have made significant progress and want to go over the next step with Alan. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

**From:** Luke Butler <[Luke.Butler@phila.gov](mailto:Luke.Butler@phila.gov)>

**Date:** Thu, 29 Nov 2012 17:30:37 -0500

**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

**Cc:** Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>

**Subject:** Meeting with Deputy Mayor Greenberger

Hi Alex,

Just tried your cell but wanted to also send you an email.

Mayor asked Alan (Deputy Mayor for Economic Development) to meet with you, Mr Basciano and Mr Simmonds regarding the Market Street development. Eva, Alan's scheduler (copied here) will be in touch to set up the meeting.

Thanks,  
Luke

Luke Butler  
Chief of Staff  
Office of Deputy Mayor for Economic Development  
City of Philadelphia  
O: 215-683-4614  
C: 267 438 7119







Alex Wolfington  
<alex@wolfnet.co>  
01/27/2013 11:16 PM

To Alan Greenberger <Alan.Greenberger@Phila.Gov>  
cc Eva Lopez <Eva.Lopez@phila.gov>  
bcc  
Subject 2100 BLOCK OF MARKET STREET DEVELOPMENT PLAN

*Sun Jan 27, 2013*

*Alan;*

*Would you kindly let me know tomorrow if Richard Basciano and I can meet with you anytime Thursday morning before 11:00 AM, Thursday Afternoon after 2:00 PM or Friday morning before Noon. Will await your schedule, so Richard can plan to come to Philadelphia. By the way, if Dinner Thursday evening is better for you that would also work well for Richard. T.Y.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C: (610)-304-3345  
E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*



Alex Wolfington  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
01/29/2013 02:47 PM

To "Eva.Lopez@phila.gov" <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>,  
"John.Mondlak@phila.gov" <[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
cc "Clarice.Brown@phila.gov" <[Clarice.Brown@phila.gov](mailto:Clarice.Brown@phila.gov)>  
bcc

Subject Re: REQUEST FOR THURSDAY OR FRIDAY MORNING  
Meeting with Deputy Mayor Greenberger

Tuesday, January 29, 2013

Eva:

This email confirms that Deputy Alan Greenberg will meet with  
Richard Basciano, Thomas Simmonds & Alex Wolfington on Thursday.  
The details are set forth as follows;

**Day:** Thursday  
**Date:** January 31st  
**Time:** 2:30 p.m.  
**Place:** One Parkway (913th Floor)  
1515 Arch Street  
Phila, PA

**Participants:** Alan Greenberger  
Richard Basciano  
Thomas Simmonds  
Alex Wolfington

**P.S.** Please confirm that I have the proper address

Thank you

Lisa  
*Lisa Currie*

*Executive Assistant to Alex Wolfington  
Wolfington Network  
O: (610)-526-9700  
F: (610)-526-9701  
E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>*

**From:** Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>  
**Date:** Tuesday, January 29, 2013 1:31 PM  
**To:** Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)" <  
[John.Mondlak@phila.gov](mailto:John.Mondlak@phila.gov)>  
**Cc:** "[Clarice.Brown@phila.gov](mailto:Clarice.Brown@phila.gov)" <[Clarice.Brown@phila.gov](mailto:Clarice.Brown@phila.gov)>

**Subject:** Re: REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor Greenberger

Please copy Clarice on your reply. I will be leaving the office early today. Tx

Eva Lopez/CityPlan/Phila

01/29/2013 12:41 PM

To Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
cc John Mondlak/Commcert/Phila@PHILA  
Subject Re: REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor  
t Greenberger [Link](#)

Hello:

Alan can meet Thursday at 2:30 or 4:30pm. He is not available Friday

Eva Lopez, Assistant to  
Alan J. Greenberger, FAIA  
Deputy Mayor for Economic Development  
TEL: 215-683-4605

Alex Wolfington <[alex@wolfnet.co](mailto:alex@wolfnet.co)>

01/28/2013 05:54 PM

To Luke Butler <[Luke.Butler@phila.gov](mailto:Luke.Butler@phila.gov)>  
cc Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>  
Subject REQUEST FOR THURSDAY OR FRIDAY MORNING Meeting with Deputy Mayor  
t Greenberger

Mon Jan 28, 2013

Luke;

*Would you kindly call me in the morning 610-304-3345, so we can set up a meeting with Alan, Richard Basciano and me for Thursday afternoon or Friday Morning to pick up on our 2100 Block of Market Street Conversation, as we have made significant progress and want to go over the next step with Alan. Thank you.*

Best,

ALEX (C: 610-304-3345)

Alex Wolfington

Wolfnet

O: (610)-526-9700

C: (610)-304-3345

E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >

**From:** Luke Butler <[Luke.Butler@phila.gov](mailto:Luke.Butler@phila.gov)>  
**Date:** Thu, 29 Nov 2012 17:30:37 -0500  
**To:** ALEX WOLFINGTON <[alex@wolfnet.co](mailto:alex@wolfnet.co)>  
**Cc:** Eva Lopez <[Eva.Lopez@phila.gov](mailto:Eva.Lopez@phila.gov)>  
**Subject:** Meeting with Deputy Mayor Greenberger

Hi Alex,

Just tried your cell but wanted to also send you an email.

Mayor asked Alan (Deputy Mayor for Economic Development) to meet with you, Mr Basciano and Mr Simmonds regarding the Market Street development. Eva, Alan's scheduler (copied here) will be in touch to set up the meeting.

Thanks,  
Luke

Luke Butler  
Chief of Staff


Office of Deputy Mayor for Economic Development  
City of Philadelphia  
O: 215-683-4614  
C: 267 438 7119



Alex Wolfington  
<alex@wolfnet.co>  
02/01/2013 04:25 PM

To Mondlak John <John.Mondlak@phila.gov>  
cc Eva Lopez <Eva.Lopez@phila.gov>, Alan Greenberger  
<Alan.Greenberger@Phila.Gov>  
bcc

Subject MEETING CONFIRMATION

History:  This message has been forwarded.

*Friday, February 1, 2013*

*Please accept this email as confirmation of Thursday's meeting.  
The details are set forth below as follows:*

**Day:** Thursday

**Date:** February 7th

**Time:** 5:00 pm – 5:30 pm

**Place:** City of Philadelphia Office  
1515 Arch Street (12th Floor)  
1 Parkway Building  
Phila., PA 19102

**Participants:** Alan Greenberger  
John Mondiak  
Jeffrey Orleans  
Sheldon Libfeld (The Conservatory Group USA Inc.)  
Thomas Simmonds  
Alex Wolfington

BEST,

ALEX (C:610-304-3345)

Alex Wolfington  
Wolfnet  
O: (610)-526-9700  
C (610)-304-3345  
E: <alex@wolfnet.co>  
E: <[Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com)>

John Mondiak  
Director of Real Estate Development  
City of Philadelphia  
1 Parkway Building  
1515 Arch Street (12th Floor)  
Phila., PA 19102  
P: 215-683-2009


Mondlak John <John.Mondlak@phila.gov>





Alex Wolfington  
<alex@wolfnet.co>  
04/10/2013 12:07 AM

To Alan Greenberger <John.Mondlak@phila.gov>  
cc Eva Lopez <Eva.Lopez@phila.gov>  
bcc  
Subject FORMER FORUM THEATRE DIMENSIONS

History:  This message has been forwarded.

*Tuesday April 9, 2013*

*John;*

*Thank you for our meeting of this afternoon at the Symphony House, as I think we made progress as it relates to the potential relocation of the Fire House from the 2100 Block of Market Street to the 2200 Block of Market Street. In this regard it is my understanding that:*

*(1) Plato Marinakos AIA will prepare a plan of properties in 2200 Block for FH relocation*

*(2) The dimensions of the former Forum Theatre and adjacent lots are:*

*Street*

- 52' frontage on Market Street x 97' deep back to Ludlow*

- Plus an additional parcel on Ludlow measuring 40' x 33'*

*(3) You and Alan will be meeting with Michael Resnick (Public Safety)*

*(4) You and Alan will be meeting with Fire Commissioner Lloyd Ayers*

*(5) You will confirm if district is under Kenyatta Johnson or Darrell Clark*

*(6) You will send us via email a copy of the budget for a new Fire House.*

*I will reach out to you next week to arrange to give you Plato's Plan for the*

*properties in the 2200 block of Market Street and to see how you are progressing with the Fire Commissioner and Public Safety. Thank you.*

*Best,*

*ALEX (C: 610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C: (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*





Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 09:49 AM

To "Charles.Deitrick@USE.SalvationArmy.org"  
<Charles.Deitrick@USE.SalvationArmy.org>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>,  
"John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>,  
bcc

Subject FW: 2140 Market Street, Phila., PA

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,  
Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
**S.T.B. Investments Corp.**  
**300 WEST 43RD STREET – Suite 400**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468 (Mobile)**  
**212.247.4910 (201) (Office)**

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,  
Thom

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**From:** [canon@realty42.com](mailto:canon@realty42.com) [mailto:[canon@realty42.com](mailto:canon@realty42.com)]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



0379\_001.pdf



"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>  
05/09/2013 10:13 AM

To Thomas Simmonds <tsimmonds@realty42.com>, "John Cranford" <JCranford@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

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Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
Charles.Deitrick@use.salvationarmy.org  
Web :www.SalvationArmyARC.org

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05/09/2013 10:15 AM

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**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** '[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)'; 'Alex Wolfington'; Frank Cresci; '[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)'; '[plato@plato-studio.com](mailto:plato@plato-studio.com)'; Alistair Fraser  
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[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
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05/09/2013 10:27 AM

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"'John.Mondlak@Phila.gov'" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
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Major: Thank you – I look forward to hearing from you.  
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300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

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[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
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To 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
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"'plato@plato-studio.com'" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
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bcc  
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We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

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PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

--

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--





Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 02:03 PM

To 'Charles Deitrick'  
<[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>  
cc "'Alan.Greenberger@Phila.gov"  
<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington'  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.

Thank you,

Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [mailto:[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)]  
**Sent:** Thursday, May 09, 2013 1:54 PM  
**To:** Thomas Simmonds  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser; John Cranford  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 10:27 AM

To'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>,  
cc"'Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "'John.Mondlak@Phila.gov" <  
[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "'plato@plato-studio.com" <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, "Frank Cresci" <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubRE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you – I look forward to hearing from you.  
Best regards,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
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Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
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cc: "Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
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05/09/2013 09:49 AM

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SubFW: 2140 Market Street, Phila., PA  
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Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

TIME IS OF THE ESSENCE so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

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**PROPERTY MANAGER**  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,

Thom

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NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

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**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

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--



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:39 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR or we will be required to seek injunctive relief due to your failure to timely respond.

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** canon@realty42.com [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



1587\_001.pdf



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 05:29 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject RE: 2136-38 Market Street

Major Deitrick: I received your voice message (4:47PM) re the above property. Joel Oshtry spoke with Steve Nudell today about the "access agreement" but advised Joel that he is not aware of any architect's involvement on your behalf. Mr. Nudell advised Mr. Oshtry that he would be contacting your offices for that information. I suggest you coordinate communication among Mr. Nudell, your architect and Joel Oshtry immediately so that we can conclude the demolition on the block.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Monday, May 13, 2013 12:40 PM  
**To:** 'Major Cranford'; 'Charles Deitrick'; 'Alistair.Fraser@USE.salvationarmy.org'  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'; 'Plato Marinakos'; 'Alex Wolfington'; Frank Cresci; 'oshtrylaw@aol.com'  
**Subject:** 2136-38 Market Street

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**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
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"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>

05/09/2013 10:13 AM

To Thomas Simmonds <tsimmonds@realty42.com>, "John Cranford" <JCranford@USE.SalvationArmy.Org>  
cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
Charles.Deitrick@use.salvationarmy.org  
Web :www.SalvationArmyARC.org

The only preparation for tomorrow is the right use of today.

Thomas Simmonds  
<tsimmonds@realty42.com>

05/09/2013 09:49 AM

To "'Charles.Deitrick@USE.SalvationArmy.org'" <Charles.Deitrick@USE.SalvationArmy.org>,  
cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, "'plato@plato-studio.com'" <plato@plato-studio.com>, Frank Cresci <fcresci@realty42.com>  
Sub FW: 2140 Market Street, Phila., PA  
ject

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**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**

S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,  
Thom

THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
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Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 10:15 AM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>, John Cranford  
<JCranford@USE.SalvationArmy.Org>  
cc "'Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

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**NEW YORK, NEW YORK 10036**  
**347.234.0468**

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**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
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>

05/09/2013 09:49 AM

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cc"'Alan.Greenberger@Phila.gov"' <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "'John.Mondlak@Phila.gov"' <  
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Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
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PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 09:49 AM

To "'Charles.Deitrick@USE.SalvationArmy.org'" <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>,  
cc "'Alan.Greenberger@Phila.gov'" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "'John.Mondlak@Phila.gov'" <  
[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "'plato@plato-studio.com'" <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
Sub FW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

THOM SIMMONDS  
PROPERTY MANAGER  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,  
Thom

THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

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Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 02:03 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.

Thank you,

Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [mailto:Charles.Deitrick@USE.SalvationArmy.Org]  
**Sent:** Thursday, May 09, 2013 1:54 PM  
**To:** Thomas Simmonds  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser; John Cranford  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 10:27 AM

To'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>,  
cc"Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "John.Mondlak@Phila.gov" <  
[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "plato@plato-studio.com" <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, "Frank Cresci" <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubRE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you – I look forward to hearing from you.  
Best regards,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

I have a call into Major Cranford, We will back to you after I hear from him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 10:14 AM To:'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>,  
cc:"Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
SubRE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
**Subject:** Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 09:49 AM

To"Charles.Deitrick@USE.SalvationArmy.org" <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>, cc"Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubFW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

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TIME IS OF THE ESSENCE so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,

Thom

**THOMAS J. SIMMONDS, JR.**  
**PROPERTY MANAGER**  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

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Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:31 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc 'Alex Wolfington' <alex@wolfnet.co>,  
"Alistair.Fraser@USE.salvationarmy.org"  
<Alistair.Fraser@USE.salvationarmy.org>, 'Major Cranford'  
bcc

Subject RE: POST CONFERENCE CALL ACTION PLAN

Gentlemen: It is now 12:30 and I requested your architect's "comprehensive response" by noon – 30 minutes ago. Please advise – the next photo I send you via e-mail will show you that we're now at an impasse.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Friday, May 10, 2013 10:41 AM  
**To:** 'Charles Deitrick'  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Major: Thank you for clarifying. I just spoke to our architect Plato Marinakos (copied above) who stressed the **TIME SENSITIVE** nature of the "comprehensive response" since, as you are aware, 2136-38 Market Street is nearly demolished and every minute that passes increases the liability exposure for all parties. Accordingly I request receipt the aforementioned response no later than noon, Monday, May 13, 2013 so that none of the components of this matter are unduly delayed.

By way of introduction, I have copied our attorney Joel Oshtry above who will be contacting your attorney Steve Nudell (717-236-5000) re the "access agreement" per your advice.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 10:30 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Alistair will send a list from his experience but , we will also work through our architect for a

comprehensive response.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/10/2013 10:04 AM

To: Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Alex Wolfington" <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
>,  
cc" [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, Major Cranford  
<[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubRE: POST CONFERENCE CALL ACTION PLAN  
ject

Major Deitrick/Mr. Fraser: Thank you again for the enlightening conversation we had earlier this morning. Will you be providing me with your roof/east wall concerns today for our architect to review or will that be coming from the local architect you reference below? Kindly advise.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 9:57 AM  
**To:** Alex Wolfington  
**Cc:** [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos; Thomas Simmonds  
**Subject:** Re: POST CONFERENCE CALL ACTION PLAN

There is no commitment for Alistair to come to Philadelphia, We will have a local Architect represent us, This will be identified and shared . We will work at the timing of the professionals that are engaged. As was stated we will work to meet our neighborly goals but at same time protect our own investments. As stated no commitments are made at this point other than to work together in dialogue to proceed.

Thank you  
Have Blessed Day



Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Alex Wolfington <  
[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/10/2013 09:36 AM

To "Alistair.Fraser@USE.salvationarmy.org" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>,  
cc Major Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Major Cranford" <  
[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Plato Marinakos <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubPOST CONFERENCE CALL ACTION PLAN  
ject

Friday, May 10, 2013

Alistair:

Pursuant to our conference call at 9:00 a.m. this morning, it is my understanding that we will implement the following steps regarding the demolition of 2138 Market Street (Philadelphia):

- 1) Joel Oshstry, Esq will reach out for the Salvation's Army Attorney at 717-236-5000 to mutually prepare an "Access Agreement" with the intent of reaching and executing an Agreement by the end of next week
- 2) Alistar Fraser will prepare a description of his concerns as it relates to the flashing, chimney and walls at 2140 Market Street throughout the "2138" demolition process
- 3) Plato Marinakos will prepare a description of what steps he will be taking regarding the post-demolition protection of 2140 Market Street

4) If need be, Alistar will come to Philadelphia early next week to meet with Plato for an onsite clarification of the demolition work to be completed

5) The parties will agree to work on collaborative and neighborly basis to expedite the completion of a smooth demolition process

Please let me know if I have not accurately set forth our understanding.

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

--

--



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:39 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

**THOM SIMMONDS**  
**300 WEST 43RD STREET**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468**

**From:** canon@realty42.com [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



1587\_001.pdf





**HOLICITY CITY**  
PAINTS & SUPPLIES  
1234 MAIN ST. HOLICITY, CA 90101  
TEL: 555-1234

PAINTS  
SUPPLIES

PAINTS  
SUPPLIES





Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 05:29 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject RE: 2136-38 Market Street

Major Deitrick: I received your voice message (4:47PM) re the above property. Joel Oshtry spoke with Steve Nudell today about the "access agreement" but advised Joel that he is not aware of any architect's involvement on your behalf. Mr. Nudell advised Mr. Oshtry that he would be contacting your offices for that information. I suggest you coordinate communication among Mr. Nudell, your architect and Joel Oshtry immediately so that we can conclude the demolition on the block.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Monday, May 13, 2013 12:40 PM  
**To:** 'Major Cranford'; 'Charles Deitrick'; 'Alistair.Fraser@USE.salvationarmy.org'  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'; 'Plato Marinakos'; 'Alex Wolfington'; Frank Cresci; 'oshtrylaw@aol.com'  
**Subject:** 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** [canon@realty42.com](mailto:canon@realty42.com) [<mailto:canon@realty42.com>]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image





Thomas Simmonds  
<tsimmonds@realty42.com>  
05/09/2013 09:49 AM

To "Charles.Deitrick@USE.SalvationArmy.org"  
<Charles.Deitrick@USE.SalvationArmy.org>  
cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>,  
"John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>,  
bcc

Subject FW: 2140 Market Street, Phila., PA

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

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**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,  
Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,  
Thom

**THOMAS J. SIMMONDS, JR.**  
**PROPERTY MANAGER**  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com) [<mailto:canon@realty42.com>]

**Sent:** Thursday, February 07, 2013 6:07 PM

**To:** Thomas Simmonds

**Subject:** Attached Image



0379\_001.pdf



S.T.B. INVESTMENTS CORPORATION  
300 WEST 43<sup>RD</sup> STREET – SUITE 400  
NEW YORK, NY 10036  
212-247-4910

February 7, 2013

Major Charles Deitrick  
440 West Nack Road  
Bardonia, NY 10954

Re: 2140 Market Street, Phila., PA 19103

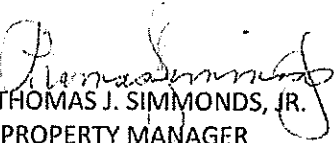
Dear Major Deitrick:

I am the Property Manager for S.T.B. Investments, Corp., which owns the property adjacent to the above premises. As you know from meeting with or having discussions with various individuals on our behalf concerning our plans to redevelop our properties on the 2100 block of West Market Street, we are now about to commence demolition of the buildings 2132, 2134 and 2136-38 Market Street.

I am enclosing a copy of our Architectural/Structural Report prepared as part of the due diligence the City requires to: a) obtain a demolition permit ( received on 02/01/2013); b) insure that any adjacent/contiguous property owner is aware of our demolition and redevelopment plans. The subject report discloses nine (9) areas of your property that require "immediate attention and repairs." Our plan is to commence our demolition at the most easterly property, to wit, 2132 Market Street as soon as possible. I would like to discuss this situation with you in view of the apparent structural defects that exist at your property prior to commencing demolition at 2136-38 Market Street.

Thank you for your courtesies and anticipated cooperation.

Very truly yours,  
S.T.B. INVESTMENTS, CORP.

By:   
THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER

VIA FEDERAL EXPRESS AND E-MAIL: [Charles.Deitrick@USE.SALVATIONARMY.ORG](mailto:Charles.Deitrick@USE.SALVATIONARMY.ORG)

cc: R. Basciano (w/encls.)  
A. Wolfington (w/encls.)

---

## **Architectural/ Structural Report**

Subject: Salvation Army 2140 Market Street  
Philadelphia, PA

---

Prepared for:

**STB Investments, Corp**

**THOM SIMMONDS**

**300 WEST 43RD STREET**

**NEW YORK, NEW YORK 10036**

**347.234.0468**

Prepared by:

**Plato A. Marinakos, Jr. Architect, LLC**

Business License No. 2284766/ (91566) (City of Philadelphia)

2000 Hamilton Street, Suite 912

Philadelphia, Pennsylvania, 19130

Tel. 610 207-7678

E-mail: [plato@plato-studio.com](mailto:plato@plato-studio.com)

Professional Architect: PA, NJ, DE, MD

RA-0114756X

Tuesday, February 05, 2013

Mr. Simmons,

*Plato A. Marinakos, Jr., Architect, LLC* conducted a site visit and inspected the building at 2140 Market Street known as the Salvation Army Thrift Store, Philadelphia, PA on February 4 and 5, 2013, as shown in Photos No. 1 through 18. The subject building is 1-story high with a full basement. The interior lot width of the building is approximately 18-feet and 0-inches. The length of the building is approximately 127 feet. The total building 1<sup>st</sup> and basement is approximately 4,572 square feet.

The building structure consists of masonry bearing walls and wood floor and roof framing. The scope of our work was limited to inspecting the readily visible and accessible areas of the building and determining the general structural condition. The scope of our work did not include inspection of any non-structural elements, such as the electrical or mechanical system of the building.

During our inspection, we determined that many areas of the building need immediate attention and repairs.

1. Evidence of roof leaking. See photo 10 damaged ceiling tile
2. Roof membrane is bubbling and needs to be re-attached to the substrate see photo 14 thru 18
3. Install a new roof membrane over the entire existing building to keep the water from entering the building photo 14 thru 18
4. Repoint and stabilize existing brick in rear loading dock photo 9
5. The aluminum facing is missing sections near the loading dock photo 3
6. Plywood facing is exposed and needs to be replaced photo 3
7. Extensive water damaged interior plaster at stairs to the basement photo 11
8. Damage face brick along sidewalk photo 6,7,8
9. Roof drain not connected photo 4

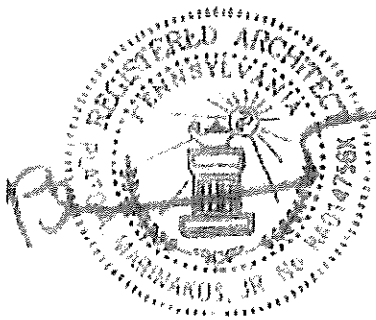
**Based on our field inspection and our engineering judgment, it is our conclusion that the structural condition of the subject building is barely sound and in extreme state of neglect and disrepair.** All the structural defects and deteriorations noted above should be repaired per our recommendations. Please note that the owner may choose to further rehabilitate the subject building and make additional repairs and modifications, where the exact extent of repair and modification shall be determined by the Architect/Engineer of the renovation design.

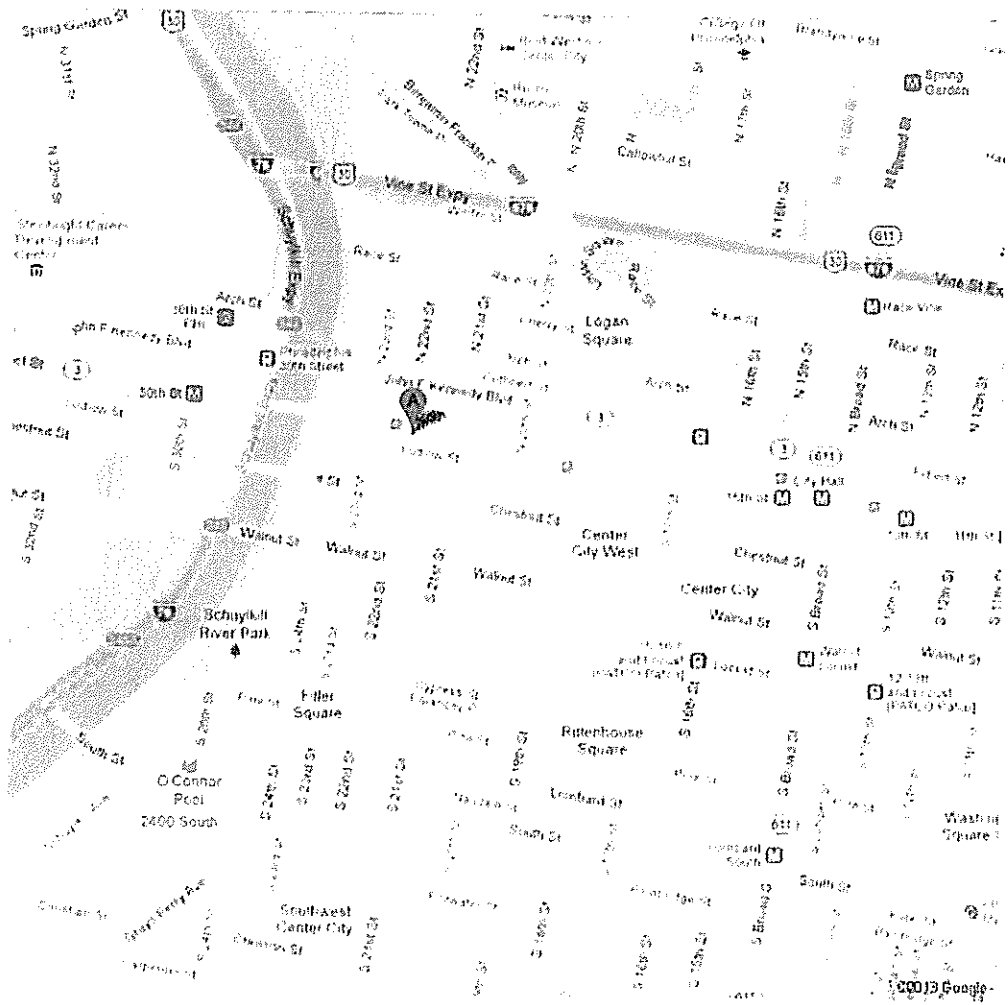
The findings and conclusions in this report with respect to the structural condition of the subject building are based on normal visual observations of the site. No conclusions, expressed or implied, shall represent that *Plato A. Marinakos, Jr. Architect, LLC* has made an evaluation of the original design, material, and fabrication of the building or erection deficiencies beyond that which would be detectable by a normal visual inspection. Please feel free to contact me if you have any questions. Thank you.

Regards,



Member  
Plato Marinakos, Jr, AIA, CSI





**Figure No. 1. Map of 2140 Market Street, Philadelphia, PA**

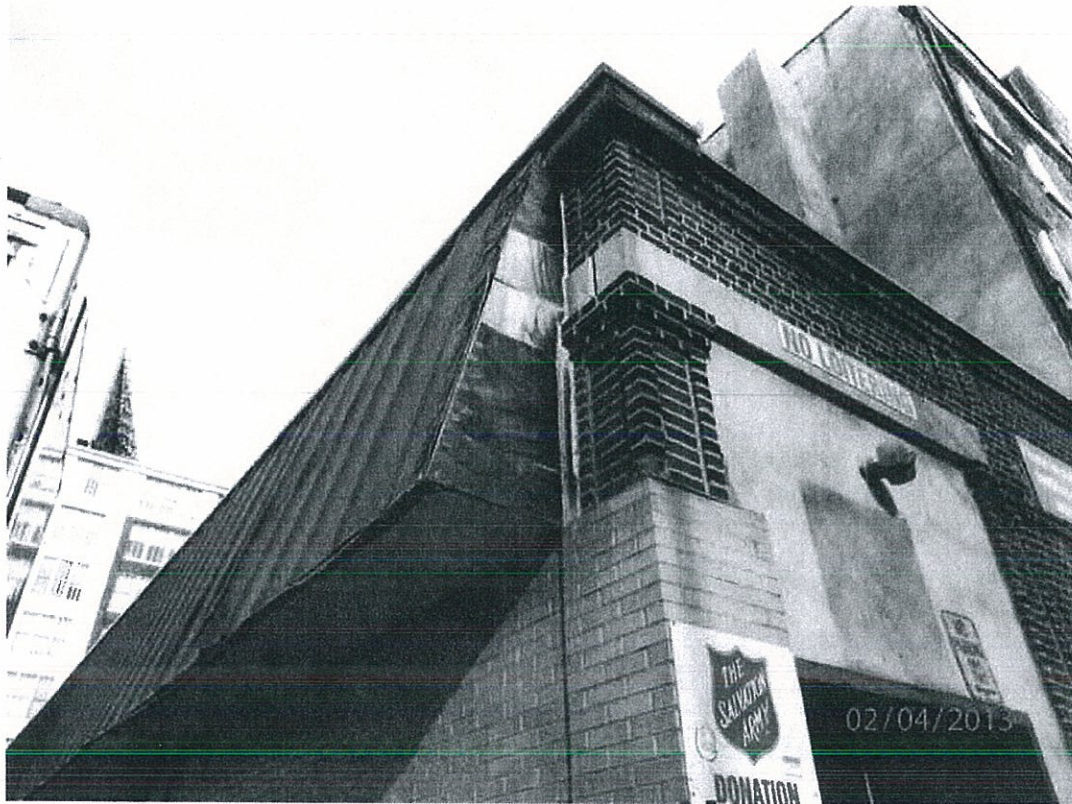


**Photo No. 1. Front (North) View of 2140 Market Street, Philadelphia, PA**



**Photo No. 2. Rear (South) View of 2140 Market Street, Philadelphia, PA**





**Photo No. 3. Façade Detail 2140 Market Street, Philadelphia, PA**



**Photo No. 4. Façade Detail 2140 Market Street, Philadelphia, PA**



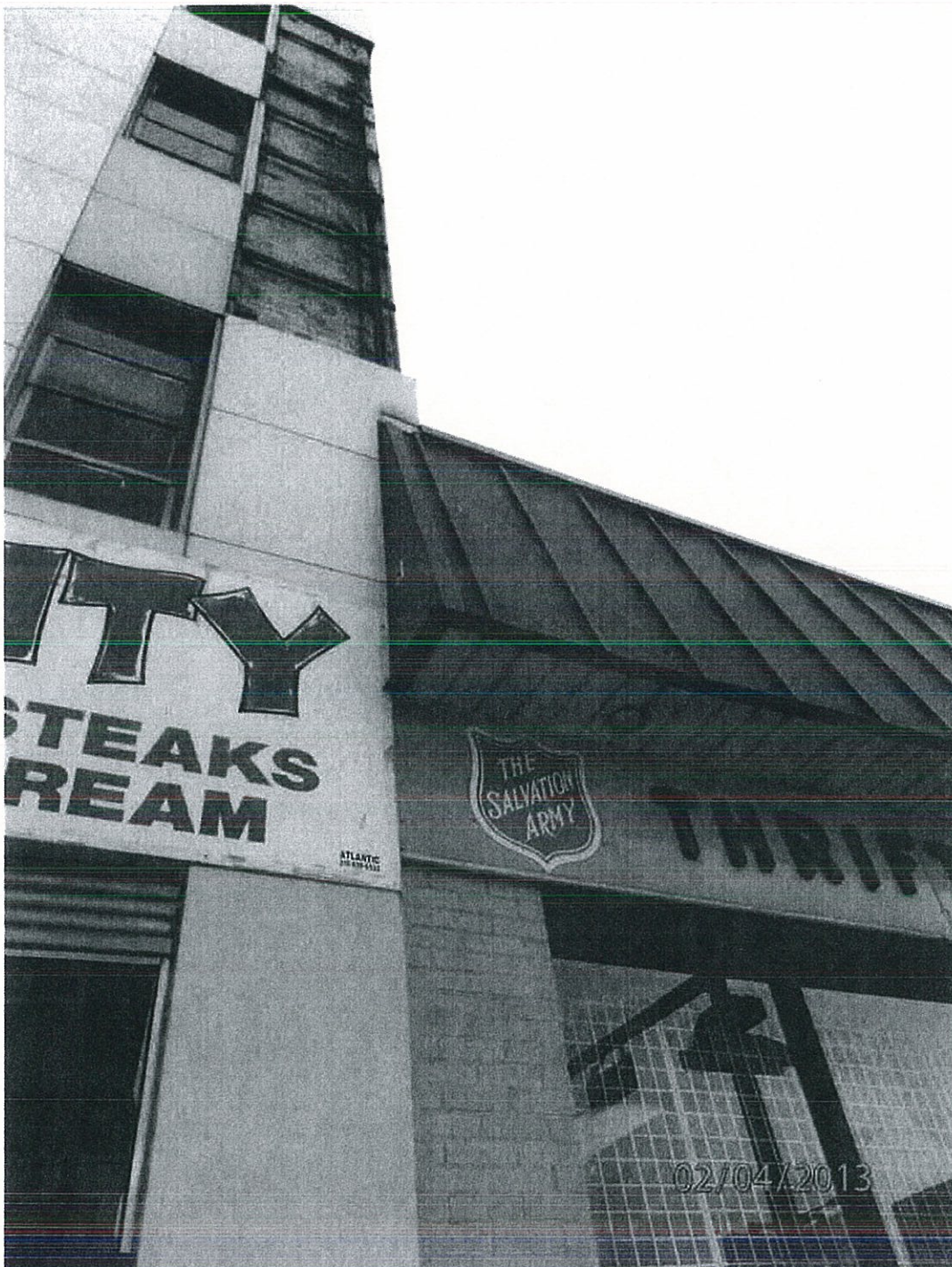


Photo No. 5. Façade Detail 2140 Market Street, Philadelphia, PA



**Photo No. 6. Façade Detail 2140 Market Street, Philadelphia, PA**

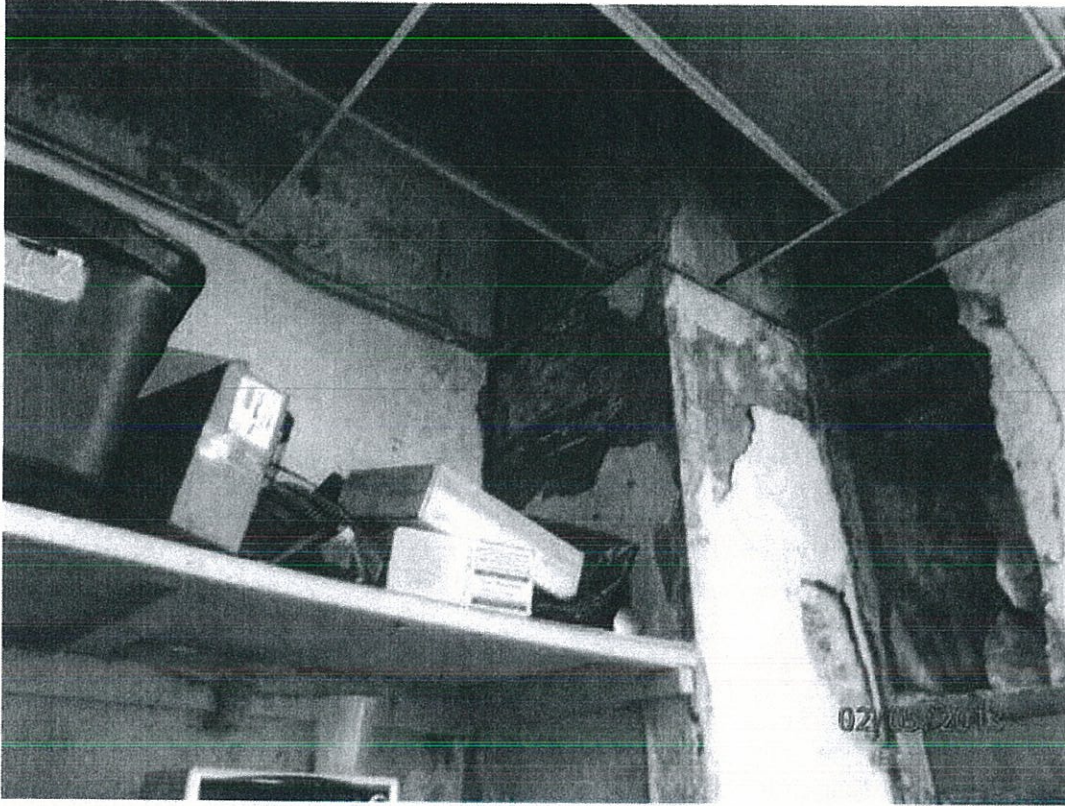


**Photo No. 7. Façade Detail 2140 Market Street, Philadelphia, PA**





**Photo No. 8. Façade Detail 2140 Market Street, Philadelphia, PA**

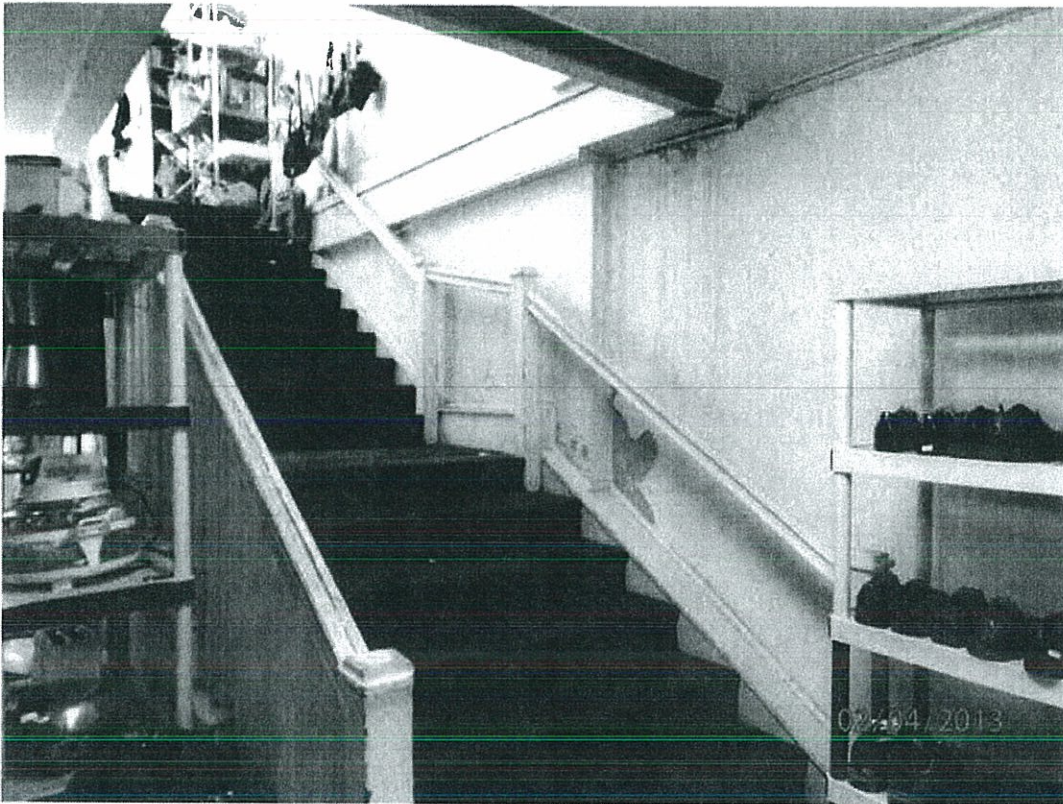


**Photo No. 9. Interior Detail 2140 Market Street, Philadelphia, PA**



**Photo No. 10. Interior Detail 2140 Market Street, Philadelphia, PA**



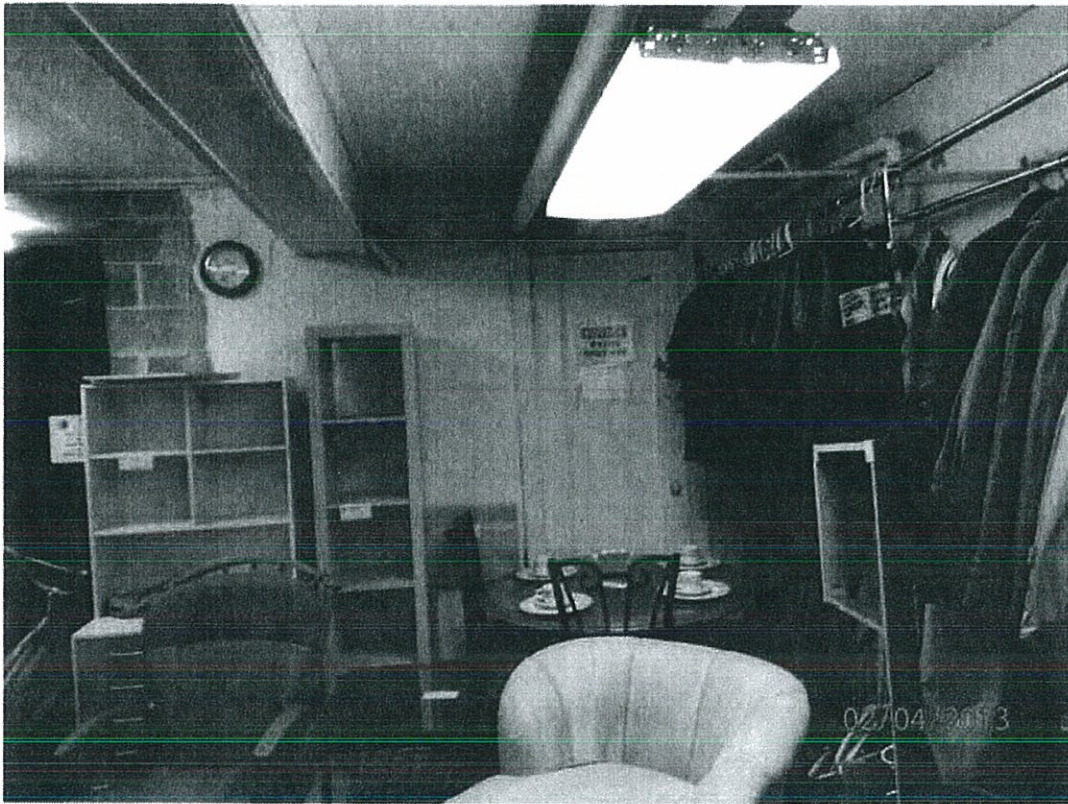


**Photo No. 11. Interior Detail 2140 Market Street, Philadelphia, PA**

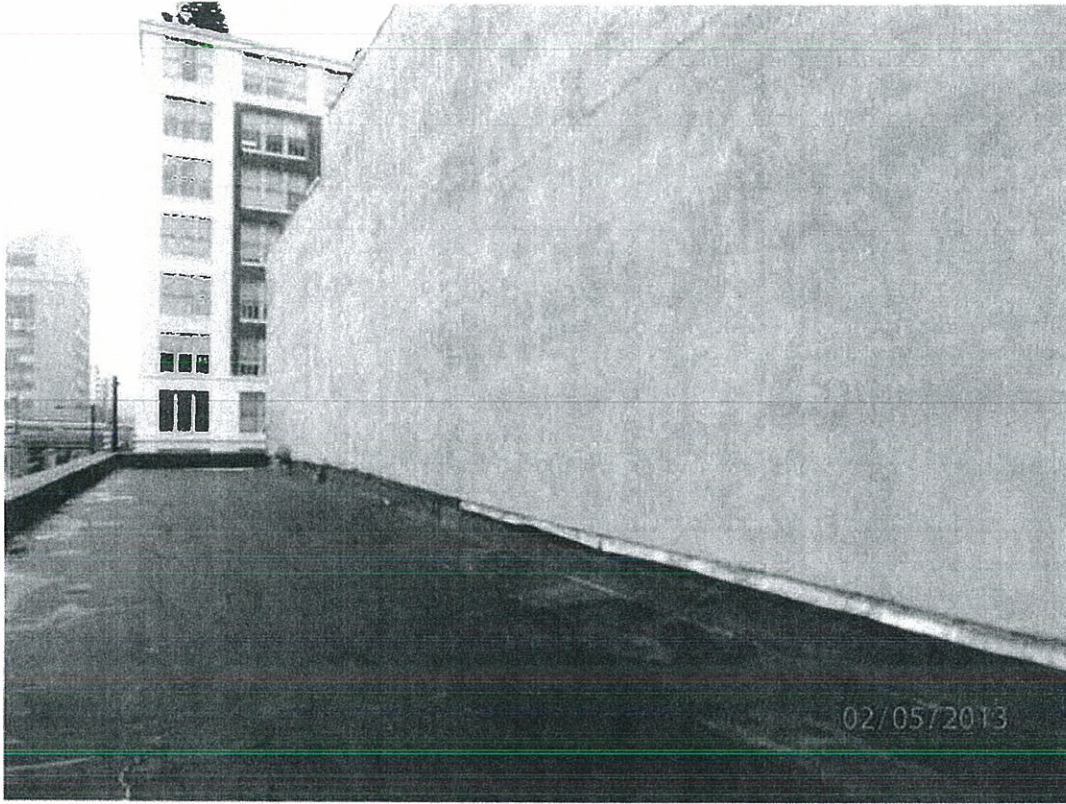


**Photo No. 12. Interior Detail 2140 Market Street, Philadelphia, PA**





**Photo No. 13. Interior Detail 2140 Market Street, Philadelphia, PA**

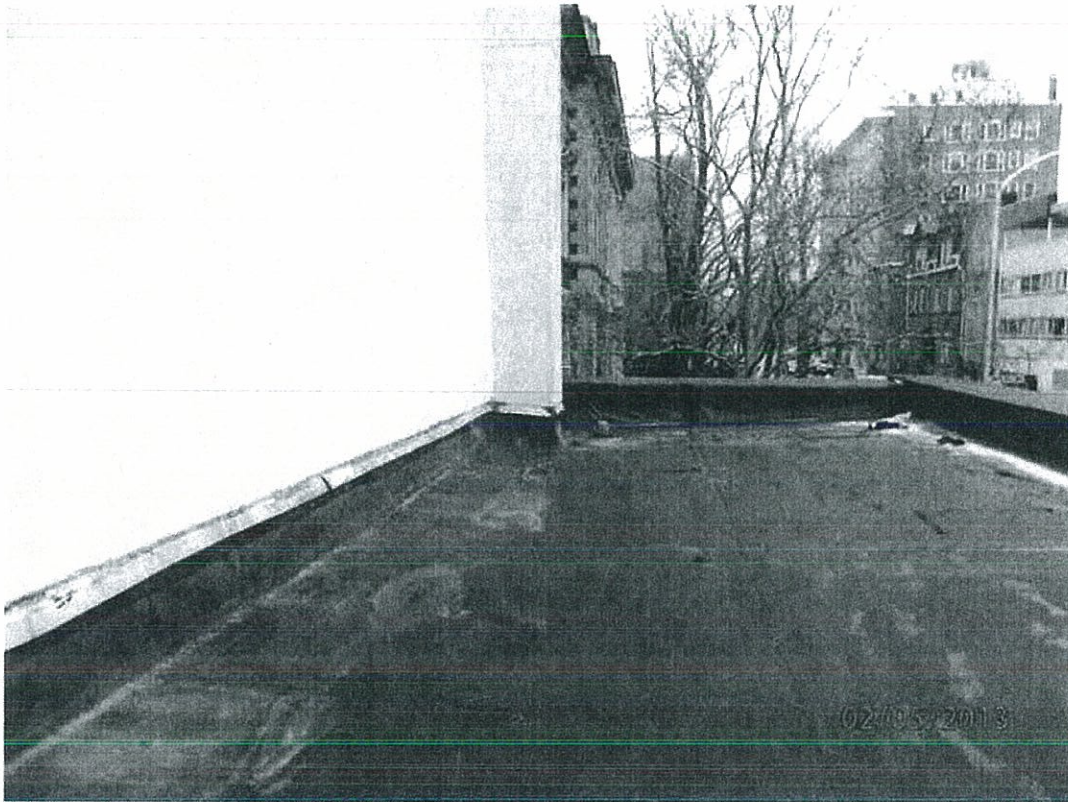


**Photo No. 14. Roof View 2140 Market Street, Philadelphia, PA**



**Photo No. 15. Roof View 2140 Market Street, Philadelphia, PA**

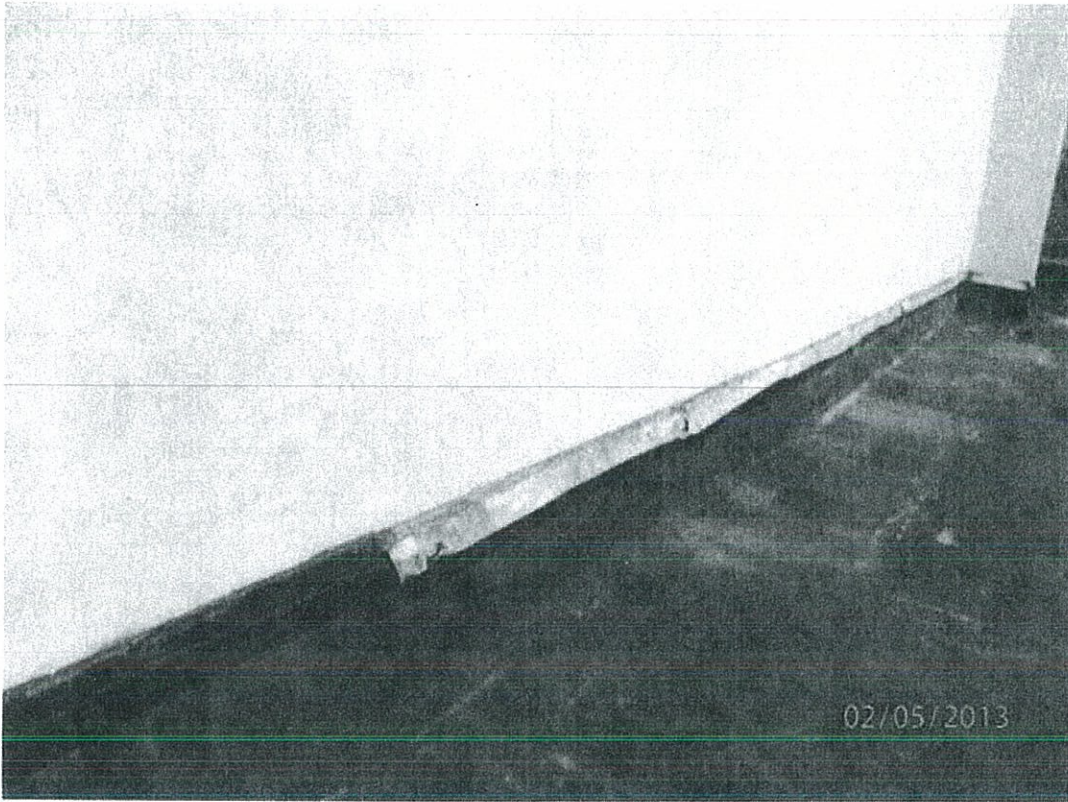




**Photo No. 16. Roof View 2140 Market Street, Philadelphia, PA**



**Photo No. 17. Roof View 2140Market Street, Philadelphia, PA**



**Photo No. 18. Roof View 2140Market Street, Philadelphia, PA**





"Charles Deitrick"  
<Charles.Deitrick@USE.SalvationArmy.Org>  
05/09/2013 10:13 AM

To Thomas Simmonds <simmonds@realty42.com>, "John Cranford" <JCranford@USE.SalvationArmy.Org>  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, Frank Cresci <fcresci@realty42.com>,  
bcc

Subject Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
Charles.Deitrick@use.salvationarmy.org  
Web :www.SalvationArmyARC.org

The only preparation for tomorrow is the right use of today.

Thomas Simmonds  
<tsimmonds@realty42.com>

05/09/2013 09:49 AM

To "Charles.Deitrick@USE.SalvationArmy.org" <Charles.Deitrick@USE.SalvationArmy.org>,  
cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, "John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, "plato@plato-studio.com" <plato@plato-studio.com>, Frank Cresci <fcresci@realty42.com>

Sub FW: 2140 Market Street, Phila., PA  
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**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

**THOM SIMMONDS**  
**PROPERTY MANAGER**

S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,  
Thom

THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:[canon@realty42.com](mailto:canon@realty42.com)]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



-- 0379\_001.pdf



Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 10:15 AM

To 'Charles Deitrick'  
<[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford  
<[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>  
cc ""[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)""  
<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington'  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** '[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)'; 'Alex Wolfington'; Frank Cresci; '[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)'; '[plato@plato-studio.com](mailto:plato@plato-studio.com)'; Alistair Fraser  
**Subject:** Re: FW: 2140 Market Street, Phila., PA

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Thank you  
Have Blessed Day  
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General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
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[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 09:49 AM

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[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, ""[plato@plato-studio.com](mailto:plato@plato-studio.com)"" <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubFW: 2140 Market Street, Phila., PA  
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**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

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**PROPERTY MANAGER**  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

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**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

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**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 10:27 AM

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<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>,  
'John.Mondlak@Phila.gov' <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Thank you – I look forward to hearing from you.  
Best regards,  
Thom

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300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

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**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

I have a call into Major Cranford, We will back to you after I hear from him.

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The only preparation for tomorrow is the right use of today.

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[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
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To 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
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cc "'Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
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"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
SubRE: FW: 2140 Market Street, Phila., PA  
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"Charles Deitrick"  
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05/09/2013 01:53 PM

To Thomas Simmonds <tsimmonds@realty42.com>

cc "Alan.Greenberger@Phila.gov"  
<Alan.Greenberger@Phila.gov>, 'Alex Wolfington'  
<alex@wolfnet.co>, "Frank Cresci" <fcresci@realty42.com>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
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05/09/2013 10:27 AM

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<John.Mondlak@Phila.gov>, 'Alex Wolfington' <alex@wolfnet.co>, "plato@plato-studio.com"  
<plato@plato-studio.com>, "Frank Cresci" <fcresci@realty42.com>

Sub RE: FW: 2140 Market Street, Phila., PA  
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Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/09/2013 10:14 AM

To 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>,  
cc "'Alan.Greenberger@Phila.gov'" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "'John.Mondlak@Phila.gov'" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
Sub RE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
**Subject:** Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
m>

05/09/2013 09:49 AM To "'Charles.Deitrick@USE.SalvationArmy.org'" <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>,  
cc "'Alan.Greenberger@Phila.gov'" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "'John.Mondlak@Phila.gov'" <  
[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "'plato@plato-studio.com'" <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
Sub FW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and – with the exception of communicating that you received it to Alex Wolfington – you have failed to respond to its contents that affect your property at 2140 Market Street.

Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

**TIME IS OF THE ESSENCE** so kindly get back to me today to discuss the aforementioned.

Thank you,  
Thom Simmonds

THOM SIMMONDS  
PROPERTY MANAGER  
S.T.B. Investments Corp.  
300 WEST 43RD STREET – Suite 400  
NEW YORK, NEW YORK 10036  
347.234.0468 (Mobile)  
212.247.4910 (201) (Office)

**From:** Thomas Simmonds  
**Sent:** Thursday, February 07, 2013 6:13 PM  
**To:** 'Charles.Deitrick@USE.SalvationArmy.org'  
**Cc:** Frank Cresci  
**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,  
Thom

THOMAS J. SIMMONDS, JR.  
PROPERTY MANAGER  
S.T.B. INVESTMENTS, CORP.  
300 WEST 43RD STREET – SUITE 400  
NEW YORK, NEW YORK 10036  
212.247.4910 (201) OFFICE  
347.234.0468 - MOBILE

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

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Thomas Simmonds  
<[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
05/09/2013 02:03 PM

To 'Charles Deitrick'  
<[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>  
cc "'[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)'"  
<[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington'  
<[alex@wolfnet.co](mailto:alex@wolfnet.co)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>,  
bcc

Subject RE: FW: 2140 Market Street, Phila., PA

Major: Kindly contact me at 212-247-4910, ext. 201 at 9AM tomorrow. If you make alternative arrangements for a "dial in" conference call, please provide me with that number and access code.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 1:54 PM  
**To:** Thomas Simmonds  
**Cc:** '[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)'; 'Alex Wolfington'; Frank Cresci; '[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)'; '[plato@plato-studio.com](mailto:plato@plato-studio.com)'; Alistair Fraser; John Cranford  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

We can do a conference call at 9 am tomorrow, do you have a number we can call into as Major Cranford and we are at different sites, and we don't know who else will be on the call.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
>

05/09/2013 10:27 AM

To'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>,  
cc"'[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)'" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "'[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)'" <  
[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "'[plato@plato-studio.com](mailto:plato@plato-studio.com)'" <  
[plato@plato-studio.com](mailto:plato@plato-studio.com)>, "Frank Cresci" <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubRE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you – I look forward to hearing from you.  
Best regards,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:26 AM  
**To:** Thomas Simmonds  
**Subject:** RE: FW: 2140 Market Street, Phila., PA

I have a call into Major Cranford, We will back to you after I hear from him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)  
>

05/09/2013 10:14 AM To: Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, John Cranford <  
[JCranford@USE.SalvationArmy.Org](mailto:JCranford@USE.SalvationArmy.Org)>,  
cc: "Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>,  
Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>,  
"plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Alistair Fraser <  
[Alistair.Fraser@USE.SalvationArmy.Org](mailto:Alistair.Fraser@USE.SalvationArmy.Org)>  
SubRE: FW: 2140 Market Street, Phila., PA  
ject

Major: Thank you for your response. When would you like to schedule the conference call? I am available at any time.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Thursday, May 09, 2013 10:13 AM  
**To:** Thomas Simmonds; John Cranford  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'Alex Wolfington'; Frank Cresci; 'John.Mondlak@Phila.gov'; 'plato@plato-studio.com'; Alistair Fraser  
**Subject:** Re: FW: 2140 Market Street, Phila., PA

I am asking that we have a conference call with the local Administrator Major Cranford. I have copied him.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>  
m>

05/09/2013 09:49 AM

To"Charles.Deitrick@USE.SalvationArmy.org" <[Charles.Deitrick@USE.SalvationArmy.org](mailto:Charles.Deitrick@USE.SalvationArmy.org)>, cc"Alan.Greenberger@Phila.gov" <[Alan.Greenberger@Phila.gov](mailto:Alan.Greenberger@Phila.gov)>, "John.Mondlak@Phila.gov" <[John.Mondlak@Phila.gov](mailto:John.Mondlak@Phila.gov)>, 'Alex Wolfington' <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, "plato@plato-studio.com" <[plato@plato-studio.com](mailto:plato@plato-studio.com)>, Frank Cresci <[fcresci@realty42.com](mailto:fcresci@realty42.com)>  
SubFW: 2140 Market Street, Phila., PA  
ject

Major Deitrick: It's unfortunate that more than 3 months have elapsed since I sent you the attached letter and -- with the exception of communicating that you received it to Alex Wolfington -- you have failed to respond to its contents that affect your property at 2140 Market Street.

Our demolition is reaching its conclusion. Our property at 2136-38 Market Street (a four-story building) is about to be leveled and we have two issues: 1) the chimney on your property extends four stories and is supported by our property. Our architect has suggested that you arrange to have it reduced since its "support" (our building) will soon be gone; 2) to prevent any accidents and damage to your property from occurring, we would require access to your property (the roof) to temporarily install protection to avoid the aforementioned.

TIME IS OF THE ESSENCE so kindly get back to me today to discuss the aforementioned.

Thank you,

Thom Simmonds

**THOM SIMMONDS**

**PROPERTY MANAGER**

**S.T.B. Investments Corp.**

**300 WEST 43RD STREET -- Suite 400**

**NEW YORK, NEW YORK 10036**

**347.234.0468 (Mobile)**

**212.247.4910 (201) (Office)**

**From:** Thomas Simmonds

**Sent:** Thursday, February 07, 2013 6:13 PM

**To:** 'Charles.Deitrick@USE.SalvationArmy.org'

**Cc:** Frank Cresci

**Subject:** 2140 Market Street, Phila., PA

Major Deitrick: Attached please find correspondence and Architectural/Structural Report re your property located at the above address. I would appreciate your reviewing same and contacting me at your earliest convenience to discuss how we should proceed.

Very truly yours,

Thom

**THOMAS J. SIMMONDS, JR.**

**PROPERTY MANAGER**

**S.T.B. INVESTMENTS, CORP.**

**300 WEST 43RD STREET -- SUITE 400**

**NEW YORK, NEW YORK 10036**

**212.247.4910 (201) OFFICE**

**347.234.0468 - MOBILE**

**From:** [canon@realty42.com](mailto:canon@realty42.com)[mailto:canon@realty42.com]  
**Sent:** Thursday, February 07, 2013 6:07 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image

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Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:31 PM

To 'Charles Deitrick'  
<Charles.Deitrick@USE.SalvationArmy.Org>  
cc 'Alex Wolfington' <alex@wolfnet.co>,  
"Alistair.Fraser@USE.salvationarmy.org"  
<Alistair.Fraser@USE.salvationarmy.org>, 'Major Cranford'  
bcc

Subject RE: POST CONFERENCE CALL ACTION PLAN

Gentlemen: It is now 12:30 and I requested your architect's "comprehensive response" by noon – 30 minutes ago. Please advise – the next photo I send you via e-mail will show you that we're now at an impasse.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Friday, May 10, 2013 10:41 AM  
**To:** 'Charles Deitrick'  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos; 'oshtrylaw@aol.com'; 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Major: Thank you for clarifying. I just spoke to our architect Plato Marinakos (copied above) who stressed the TIME SENSITIVE nature of the "comprehensive response" since, as you are aware, 2136-38 Market Street is nearly demolished and every minute that passes increases the liability exposure for all parties. Accordingly I request receipt the aforementioned response no later than noon, Monday, May 13, 2013 so that none of the components of this matter are unduly delayed.

By way of introduction, I have copied our attorney Joel Oshtry above who will be contacting your attorney Steve Nudell (717-236-5000) re the "access agreement" per your advice.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 10:30 AM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; Alistair.Fraser@USE.salvationarmy.org; Major Cranford; Plato Marinakos  
**Subject:** RE: POST CONFERENCE CALL ACTION PLAN

Alistair will send a list from his experience but , we will also work through our architect for a

comprehensive response.

Thank you  
Have Blessed Day  
Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Thomas Simmonds <  
[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>

05/10/2013 10:04 AM

To: 'Charles Deitrick' <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Alex Wolfington" <[alex@wolfnet.co](mailto:alex@wolfnet.co)>, <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)> <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, Major Cranford <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubRE: POST CONFERENCE CALL ACTION PLAN  
ject

Major Deitrick/Mr. Fraser: Thank you again for the enlightening conversation we had earlier this morning. Will you be providing me with your roof/east wall concerns today for our architect to review or will that be coming from the local architect you reference below? Kindly advise.

Thank you,  
Thom

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Charles Deitrick [<mailto:Charles.Deitrick@USE.SalvationArmy.Org>]  
**Sent:** Friday, May 10, 2013 9:57 AM  
**To:** Alex Wolfington  
**Cc:** [Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org); Major Cranford; Plato Marinakos; Thomas Simmonds  
**Subject:** Re: POST CONFERENCE CALL ACTION PLAN

There is no commitment for Alistair to come to Philadelphia, We will have a local Architect represent us, This will be identified and shared . We will work at the timing of the professionals that are engaged. As was stated we will work to meet our neighborly goals but at same time protect our own investments. As stated no commitments are made at this point other than to work together in dialogue to proceed.

Thank you  
Have Blessed Day

Major Charles Deitrick  
General Secretary  
Adult Rehabilitation Centers Command  
Phone 845-732-4113 Fax 845-732-9705  
440 West Nyack Rd West Nyack, N.Y. 10994  
PO Box 9134 Bardonia, N.Y. 10954  
[Charles.Deitrick@use.salvationarmy.org](mailto:Charles.Deitrick@use.salvationarmy.org)  
Web :[www.SalvationArmyARC.org](http://www.SalvationArmyARC.org)

The only preparation for tomorrow is the right use of today.

Alex Wolfington <  
[alex@wolfnet.co](mailto:alex@wolfnet.co)>

05/10/2013 09:36 AM

To"[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)" <[Alistair.Fraser@USE.salvationarmy.org](mailto:Alistair.Fraser@USE.salvationarmy.org)>, ccMajor Charles Deitrick <[Charles.Deitrick@USE.SalvationArmy.Org](mailto:Charles.Deitrick@USE.SalvationArmy.Org)>, "Major Cranford" <[john.cranford@use.salvationarmy.org](mailto:john.cranford@use.salvationarmy.org)>, Thomas Simmonds <[tsimmonds@realty42.com](mailto:tsimmonds@realty42.com)>, Plato Marinakos <[plato@plato-studio.com](mailto:plato@plato-studio.com)>  
SubPOST CONFERENCE CALL ACTION PLAN  
ject

Friday, May 10, 2013

Alistair:

Pursuant to our conference call at 9:00 a.m. this morning, it is my understanding that we will implement the following steps regarding the demolition of 2138 Market Street (Philadelphia):

- 1) Joel Oshstry, Esq will reach out for the Salvation's Army Attorney at 717-236-5000 to mutually prepare an "Access Agreement" with the intent of reaching and executing an Agreement by the end of next week
- 2) Alistar Fraser will prepare a description of his concerns as it relates to the flashing, chimney and walls at 2140 Market Street throughout the "2138" demolition process
- 3) Plato Marinakos will prepare a description of what steps he will be taking regarding the post-demolition protection of 2140 Market Street

4)If need be, Alistar will come to Philadelphia early next week to meet with Plato for an onsite clarification of the demolition work to be completed

5)The parties will agree to work on collaborative and neighborly basis to expedite the completion of a smooth demolition process

Please let me know if I have not accurately set forth our understanding.

*BEST,*

*ALEX (C:610-304-3345)*

*Alex Wolfington*

*Wolfnet*

*O: (610)-526-9700*

*C (610)-304-3345*

*E: < [alex@wolfnet.co](mailto:alex@wolfnet.co) >*

*E: < [Alex@wolfingtonnetwork.com](mailto:Alex@wolfingtonnetwork.com) >*

--

--



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 12:39 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "Alan.Greenberger@Phila.gov" <Alan.Greenberger@Phila.gov>, "John.Mondlak@Phila.gov" <John.Mondlak@Phila.gov>, bcc

Subject 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

**THOM SIMMONDS**  
**300 WEST 43RD STREET**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468**

**From:** canon@realty42.com [mailto:canon@realty42.com]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



1587\_001.pdf





**MORRIS CITY**  
PARTY PLATTERS  
SANDWICHES  
PIZZAS  
BURRITOS  
CATERING  
EVENTS





Thomas Simmonds  
<tsimmonds@realty42.com>  
05/13/2013 05:29 PM

To 'Major Cranford' <john.cranford@use.salvationarmy.org>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, cc "'Alan.Greenberger@Phila.gov'" <Alan.Greenberger@Phila.gov>, "'John.Mondlak@Phila.gov'" <John.Mondlak@Phila.gov>, bcc

Subject RE: 2136-38 Market Street

Major Deitrick: I received your voice message (4:47PM) re the above property. Joel Oshtry spoke with Steve Nudell today about the "access agreement" but advised Joel that he is not aware of any architect's involvement on your behalf. Mr. Nudell advised Mr. Oshtry that he would be contacting your offices for that information. I suggest you coordinate communication among Mr. Nudell, your architect and Joel Oshtry immediately so that we can conclude the demolition on the block.

Thank you,  
Thom

**THOM SIMMONDS**  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Monday, May 13, 2013 12:40 PM  
**To:** 'Major Cranford'; 'Charles Deitrick'; 'Alistair.Fraser@USE.salvationarmy.org'  
**Cc:** 'Alan.Greenberger@Phila.gov'; 'John.Mondlak@Phila.gov'; 'Plato Marinakos'; 'Alex Wolfington'; Frank Cresci; 'oshtrylaw@aol.com'  
**Subject:** 2136-38 Market Street

Gentlemen: As a follow-up to my last e-mail, attached please see photo of the captioned property. Your response is required to avoid potential danger to the subject properties as well as to the public. **PLEASE REPLY TO THIS URGENT MATTER WITHIN ONE (1) HOUR** or we will be required to seek injunctive relief due to your failure to timely respond.

**THOM SIMMONDS**  
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NEW YORK, NEW YORK 10036  
347.234.0468

**From:** [canon@realty42.com](mailto:canon@realty42.com) [<mailto:canon@realty42.com>]  
**Sent:** Monday, May 13, 2013 12:35 PM  
**To:** Thomas Simmonds  
**Subject:** Attached Image



Thomas Simmonds  
<tsimmonds@realty42.com>  
05/22/2013 04:54 PM

To "Alan.Greenberger@Phila.Gov"  
<Alan.Greenberger@Phila.Gov>  
cc  
bcc  
Subject FW: 2140 Market Street - Salvation Army

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Wednesday, May 22, 2013 4:54 PM  
**To:** 'Alan.Greenberger@Phila.gov'  
**Cc:** 'John.Mondlak@Phila.gov'; Alex Wolfington; Plato Marinakos; oshtrylaw@aol.com; Frank Cresci  
**Subject:** FW: 2140 Market Street - Salvation Army

Alan: I hope you are well. I am sending you this thread so you can see what I am confronted with concerning the Salvation Army. In spite of the numerous telephone conversations, countless e-mails and communications (most of which Salvation Army either ignores or responds to "late" for lack of a better word), this is how/when whoever this Mr. Fraser is decides to respond to a situation that poses a threat to life and limb solely caused by Salvation Army's flagrant disregard for either my or my attorney's communications. Is there is anything at all you can do to enable us to complete our demolition of the 2138 Market Street property in a professional, legal manner without having to deal with such unprofessional – and clearly uncaring – people who claim to be on a charitable mission? The job would have been completed last week if they cooperated with us as requested. This nonsense must end before someone is seriously injured or worse: those are headlines none of us want to see or read. Kindly advise.  
Thank you – I know you are extremely busy,  
Thom

BTW – this is their typical MO – they write an e-mail, I respond and they "disappear" for a few weeks.

THOM SIMMONDS  
300 WEST 43RD STREET  
NEW YORK, NEW YORK 10036  
347.234.0468

**From:** Thomas Simmonds  
**Sent:** Wednesday, May 22, 2013 3:59 PM  
**To:** 'Alistair Fraser'  
**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos; oshtrylaw@aol.com; Frank Cresci  
**Subject:** RE: 2140 Market Street



Sir: I suggest you read all e-mails you have been copied on before asking me such a question. Your counsel Steve Nudell was contacted last week by our attorney; L & I have been to the job site (5/16/13); an "engineer" purporting to be "Salvation Army's engineer" was at the property on 5/20/13 (he verbally told the demolition contractor that Salvation Army would consent to accessing the property). At this very late juncture, either you provide the written authorization to access the property or have Mr. Nudell contact Mr. Oshtry. Plato is not responding to your e-mail. Where are you located and what is your "title"? Please advise.

Thank you,  
Thom

**THOM SIMMONDS**  
**300 WEST 43RD STREET**  
**NEW YORK, NEW YORK 10036**  
**347.234.0468**

**From:** Alistair Fraser [mailto:Alistair.Fraser@USE.SalvationArmy.Org]  
**Sent:** Wednesday, May 22, 2013 3:45 PM  
**To:** Thomas Simmonds  
**Cc:** Alex Wolfington; 'Charles Deitrick'; Major Cranford; Plato Marinakos  
**Subject:** Re: 2140 Market Street

Gentlemen,  
We have not yet received a response from your architect, Plato.

From: Alistair Fraser/ARC/USE/SArmy  
m:  
To: Thomas Simmonds <tsimmonds@realty42.com>  
Cc: "Alex Wolfington" <alex@wolfnet.co>, 'Charles Deitrick' <Charles.Deitrick@USE.SalvationArmy.Org>, Major Cranford <john.cranford@use.salvationarmy.org>, Plato Marinakos <plato@plato-studio.com>  
Date: 05/10/2013 10:37 AM  
:  
Subj: 2140 Market Street  
ect:

Gentlemen,

When 2138 Market is demolished -

1. Who is responsible for reducing the height of our chimney and verifying that it meets code ?
2. The roof flashing will be removed what will be done to with roof terminations to ensure that our building is watertight ?
3. The exterior of the common wall between 2138 and 2140 will be exposed who is responsible for ensuring that it is watertight ?
4. How do we ensure that our building retains it's structural integrity during and after the demolition of 2138 ?
5. Who is responsible for fixing any wall cracks or ceiling sacks that may result from vibrations caused by your demolition work ?